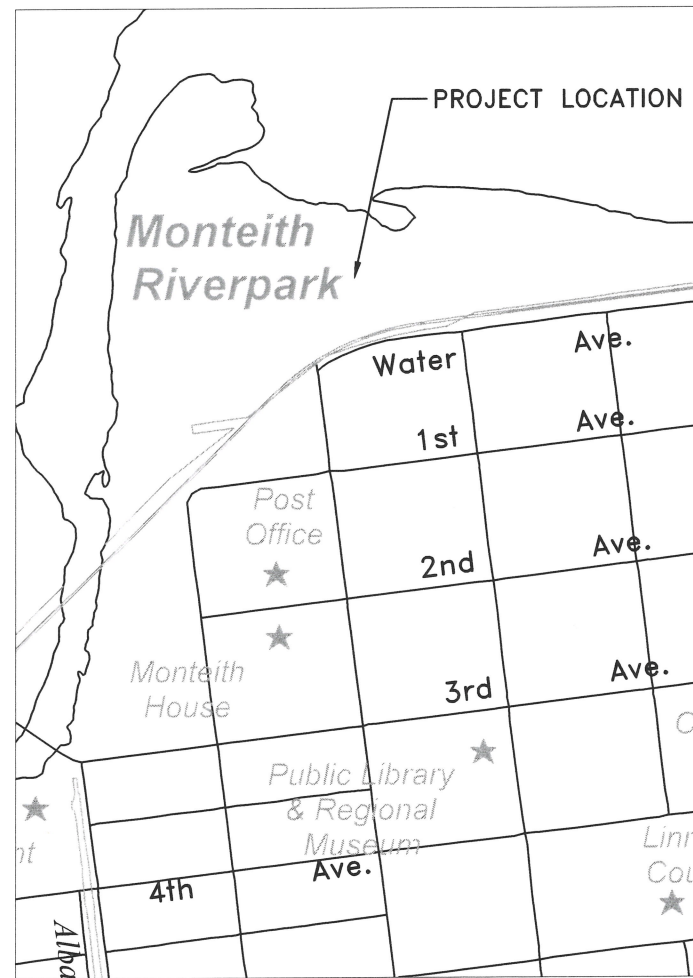


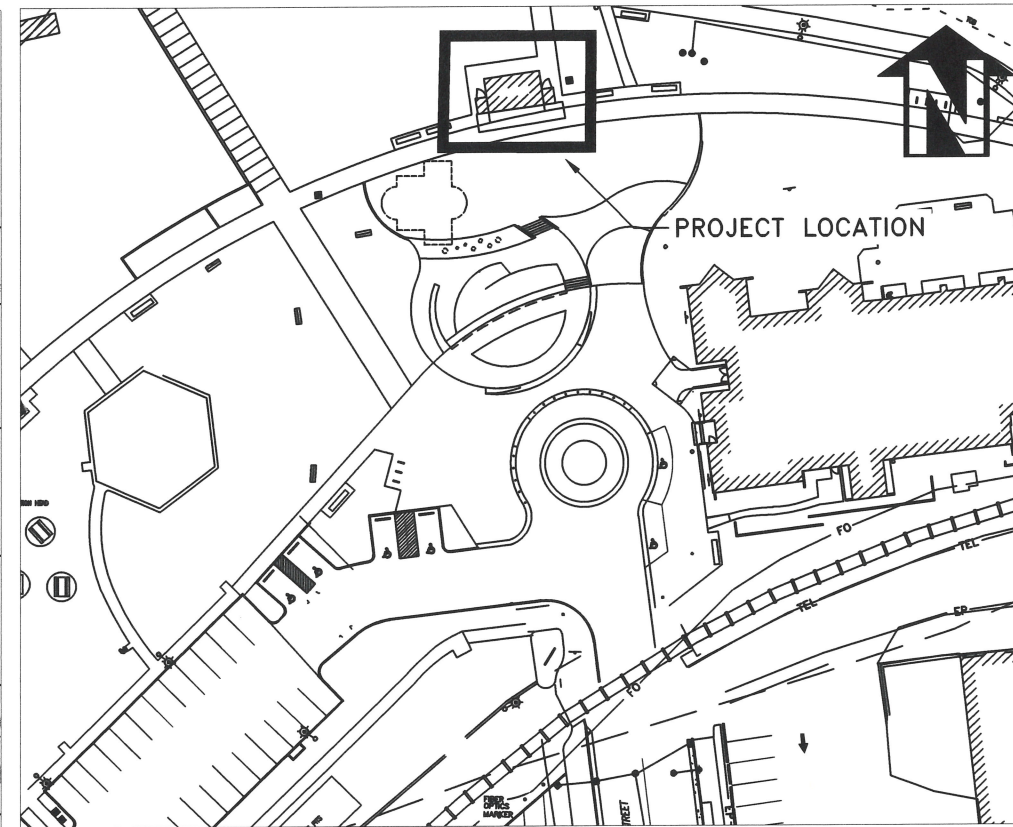
# CITY OF ALBANY

## MS-23-02, MONTEITH PARK RESTROOM REMODEL

SHEET INDEX	
Sheet Number	Sheet Title
1	COVER
2	DEMOLITION AND RESTORATION
3	FRAMING
4	PLUMBING
5	ELECTRICAL AND MECHANICAL
6	FIXTURES



**Vicinity Map**  
Not to Scale



### GENERAL NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF ALBANY STANDARD CONSTRUCTION SPECIFICATIONS AND ASSOCIATED STANDARD DRAWINGS. THE CURRENT VERSION OF THE CITY OF ALBANY STANDARD CONSTRUCTION SPECIFICATIONS CAN BE FOUND ON THE CITY'S WEBSITE AT [WWW.CITYOFALBANY.NET](http://WWW.CITYOFALBANY.NET).
2. UTILITIES SHOWN ARE FOR REFERENCE ONLY. FOR A FIELD LOCATE, CALL THE UTILITIES NOTIFICATIONS CENTER AT 1-800-332-2344.
3. OPERATING ACCESS FOR CITY MAINTENANCE PERSONNEL SHALL BE CONTINUOUSLY MAINTAINED BY THE CONTRACTOR DURING ALL CONSTRUCTION ACTIVITIES.
4. CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS, DIMENSIONS, AND MATERIALS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO ENGINEER PRIOR TO BEGINNING WORK.
5. ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).
6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION AND INSTALLATIONS COMPLYING TO ALL APPLICABLE CODES AND PERMITS. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITTING TO COMPLETE THE WORK.

DESIGNED: N. NELSON	DRAWN: N. NELSON	CHECKED: F. LAST	DATE: 9/25/2023
REVISIONS		NO:	BY:

**PUBLIC WORKS DEPARTMENT**  
**ENGINEERING SERVICES**

**MS-23-02, MONTEITH PARK RESTROOM REMODEL**

REGISTERED PROFESSIONAL  
ENGINEER  
82577PE  
*Nolan J. Nelson*  
OREGON  
JUNE 29, 2009  
NOLAN J. NELSON  
EXPIRATION DATE: 12/31/2024

SHEET NO.	1 OF 6
PROJECT NO:	MS-23-02
FILE:	FILENAME.DWG



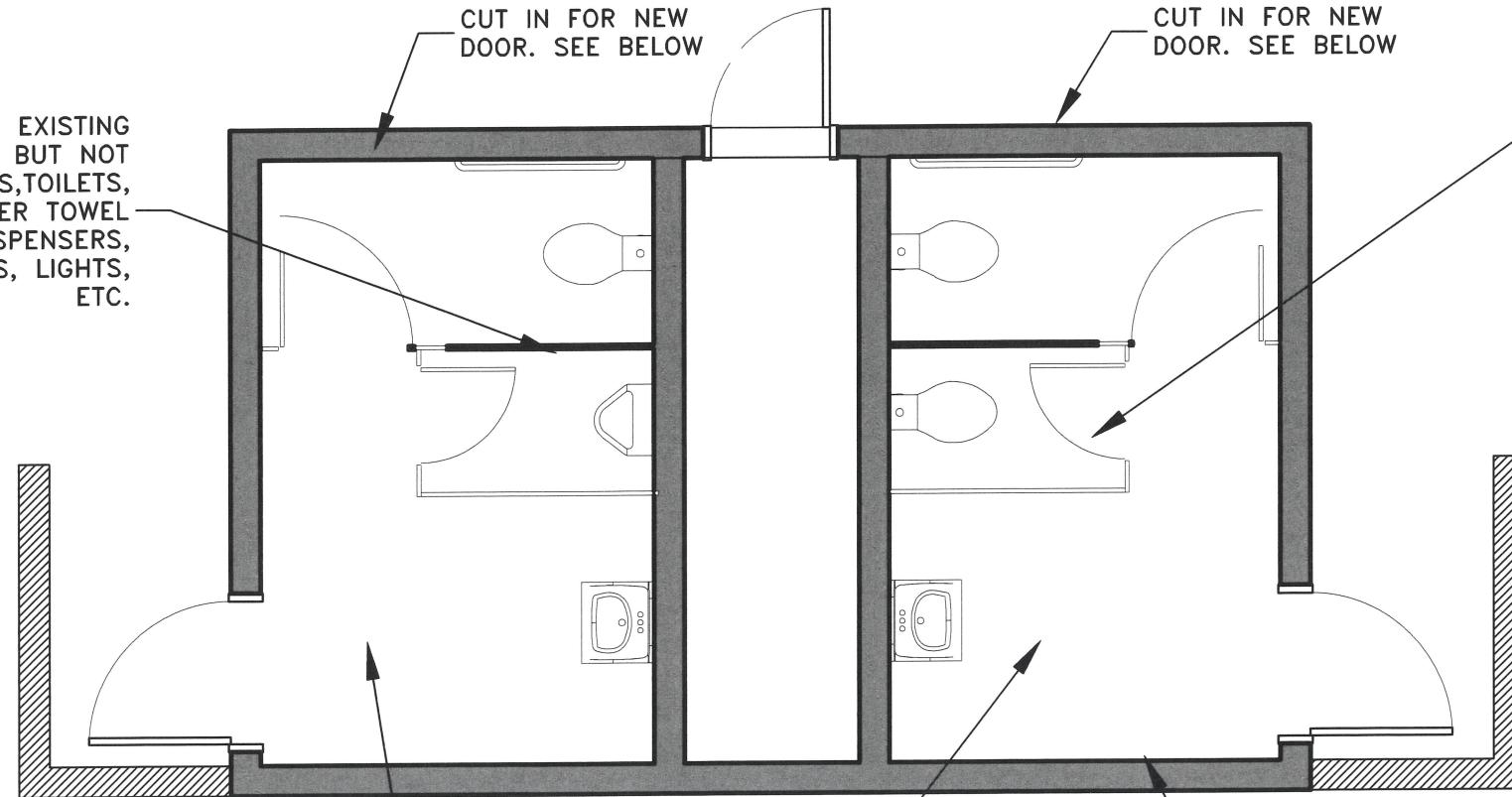
**PLAN VIEW**

REMOVE ALL EXISTING EXISTING FIXTURES INCLUDING BUT NOT LIMITED TO: SINKS, TOILETS, MIRRORS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, STALL WALLS AND DOORS, LIGHTS, ETC.

CUT IN FOR NEW DOOR. SEE BELOW

CUT IN FOR NEW DOOR. SEE BELOW

REMOVE ALL EXISTING EXISTING FIXTURES INCLUDING BUT NOT LIMITED TO: SINKS, TOILETS, MIRRORS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS, STALL WALLS AND DOORS, LIGHTS, ETC.

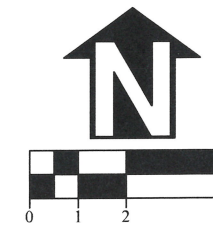


REMOVE EXISTING ALCOVE AND ROOF. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF BUILDING RESTORATION

EPOXY COAT BATHROOM FLOORS WHEN ALL WORK IS COMPLETE

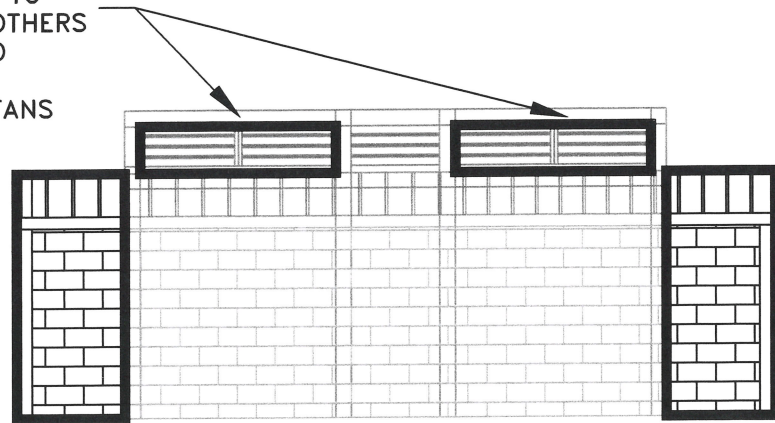
SEAL ALL EXISTING CMU INTERIOR WALLS TO ALLOW REGULAR WASH DOWNS

REMOVE EXISTING ALCOVE AND ROOF. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF BUILDING RESTORATION



**ELEVATION VIEW LOOKING NORTH**

REMOVE LOUVERS AND REPLACE WITH SHEET METAL. REPLACE EXISTING TRIM PRIME AS NECESSARY TO MAKE PAINTABLE BY OTHERS. ADD ATTIC VENTS AND DISCHARGE VENT FOR BATHROOM EXHAUST FANS

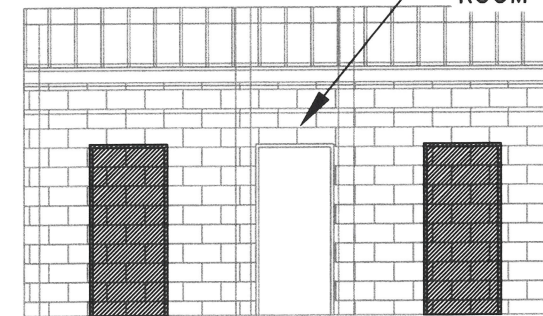


REMOVE EXISTING EXTERIOR ALCOVES. SAWCUT EXISTING CMU. GROUT CMU, INSTALL NEW FLASHING AND TRIM. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR RESTORATION WORK INCLUDING ALL WATER PROOFING



**ELEVATION VIEW LOOKING SOUTH**

EXISTING UTILITY ROOM DOOR



SAWCUT EXISTING CMU WALL AND INSTALL TWO NEW DOORS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND STAMPED STRUCTURAL PLANS FOR WORK



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ENGINEERING SERVICES**



**MS-23-02, MONTEITH PARK RESTROOM REMODEL  
DEMOLITION AND RESTORATION**



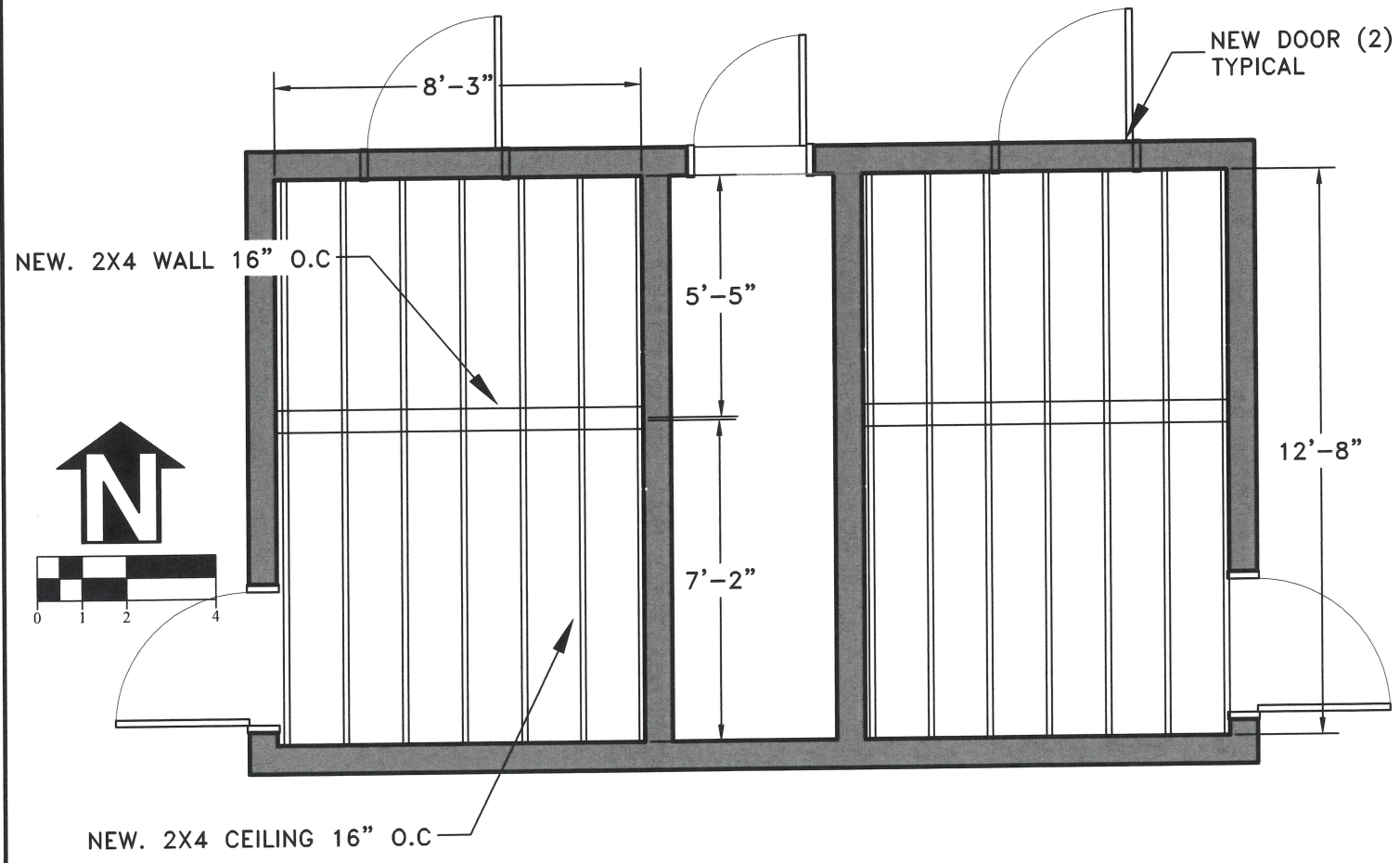
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SHEET NO. 2 OF 6

PROJECT NO: MS-23-02

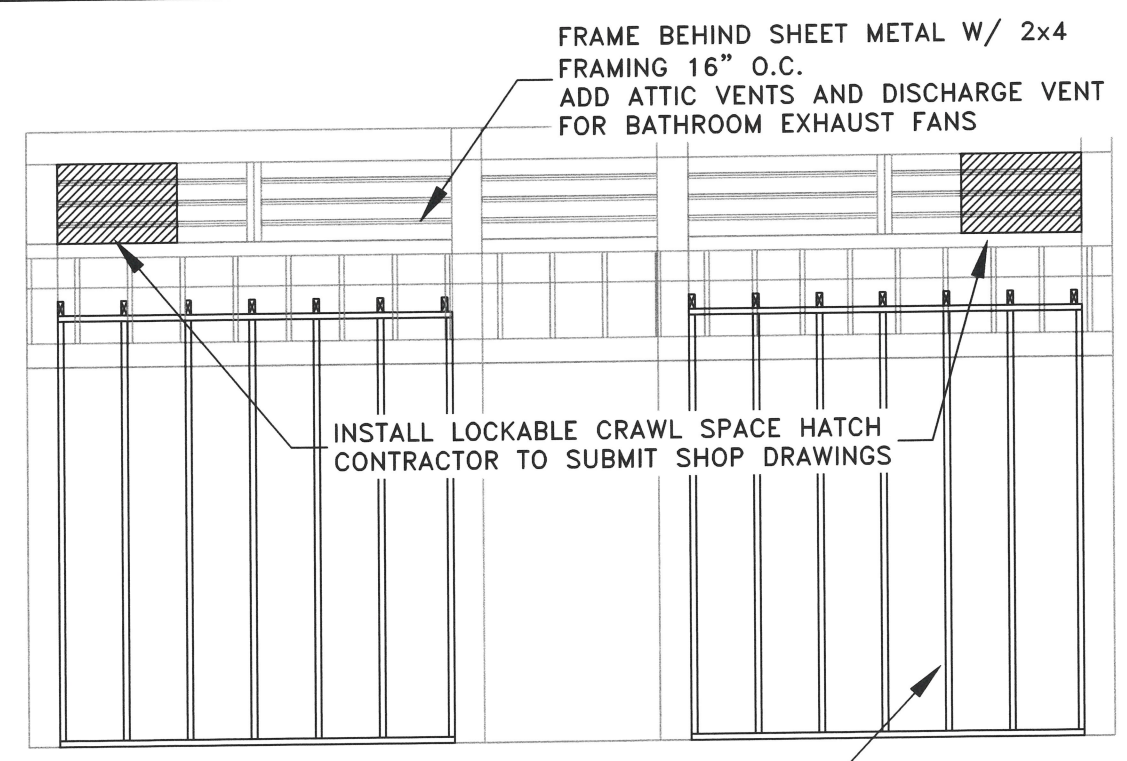
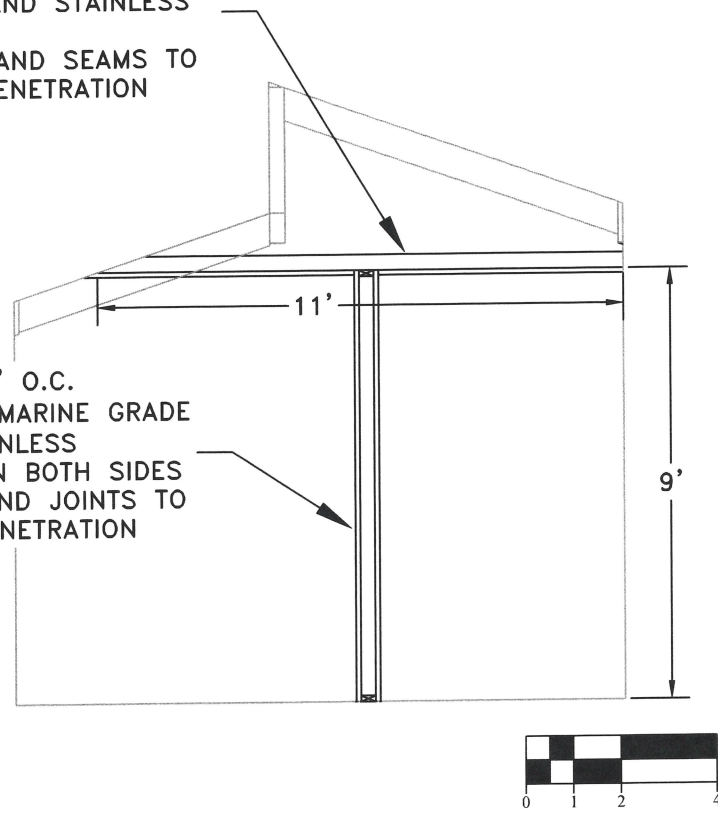
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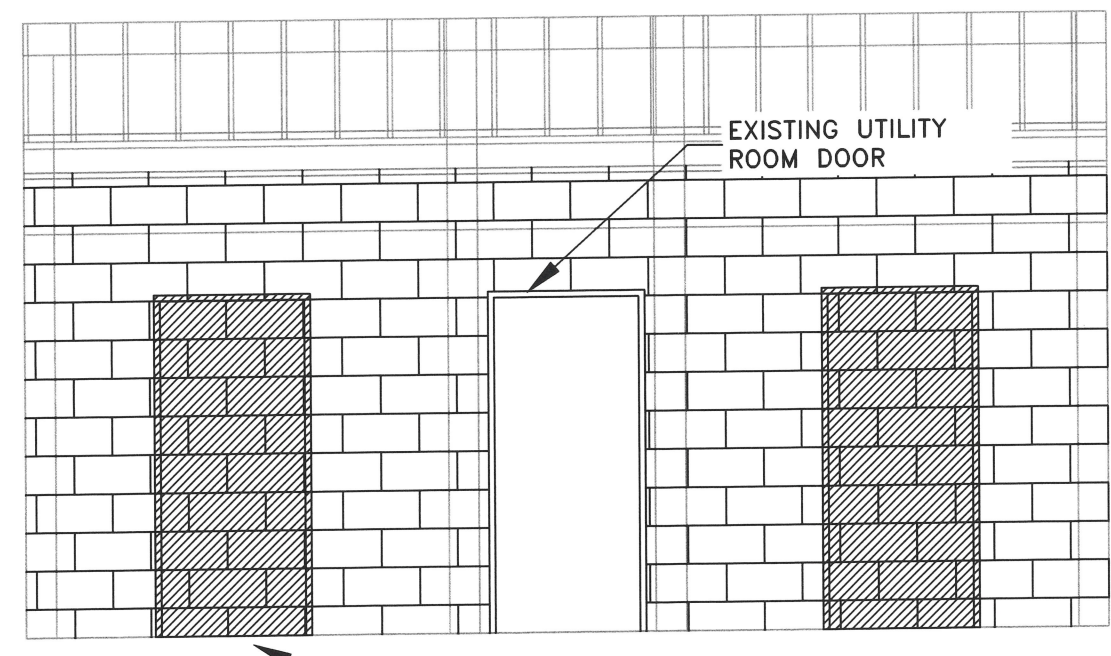


NEW. 2X4 CEILING 16" O.C.  
 FINISH CEILING WITH 1/2" MARINE  
 GRADE PLYWOOD AND STAINLESS  
 STEEL CLADDING  
 SEAL ALL JOINTS AND SEAMS TO  
 PREVENT WATER PENETRATION

NEW 2X4 WALL 16" O.C.  
 FINISH WITH 1/2" MARINE GRADE  
 PLYWOOD AND STAINLESS  
 STEEL CLADDING ON BOTH SIDES  
 SEAL ALL SEAMS AND JOINTS TO  
 PREVENT WATER PENETRATION



NEW. 2X4 WALL 16" O.C.  
 ADD BLOCKING WHERE REQUIRED  
 BY CODE AND IN LOCATIONS  
 REQUIRED FOR FIXTURE INSTALLATIONS



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**MS-23-02, MONTEITH PARK RESTROOM REMODEL**  
**FRAMING**



EXPIRATION DATE: 12/31/2024

SHEET NO. 3 OF 6

PROJECT NO: MS-23-02

FILE: BASE.DWG

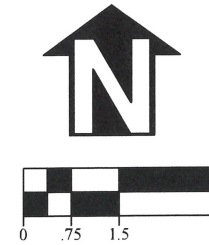


INSTALL FLOOR  
DRAINS IN NEW  
LOCATIONS.  
CONNECT TO  
EXISTING FLOOR  
DRAIN PIPE  
(4) TYPICAL

INSTALL NEW WALL  
MOUNTED TOILET  
(4) TYPICAL

INSTALL NEW WALL  
MOUNTED STAINLESS  
STEEL SINKS  
(4) TYPICAL

PLUMB NEW TOILETS AND SINKS THROUGH THE  
WALLS AND CONNECT TO EXISTING PLUMBING.  
EXISTING PLUMBING TO BE RECONFIGURED AS  
NECESSARY TO ACCOMMODATE NEW FIXTURES  
FLOORS ARE TO BE SAWCUT AND RESTORED  
TO REDIRECT PLUMBING AS NECESSARY



PLUMBING FIXTURES		
ITEM	BRAND	MODEL/FEATURES
TOILET	ACORN	R2105-W-1 HIDDEN FLUSH VALVE OPTION
SINK	DURA-WARE	1953-1-09-GT-H34
FAUCET	ZURN	WRB528143 SINGLE BASIN METERING FAUCET
FLOOR DRAIN	CONTRACTOR TO SPECIFY	4 INCH W/ METAL GRATE

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ENGINEERING SERVICES



MS-23-02, MONTEITH PARK RESTROOM REMODEL  
PLUMBING



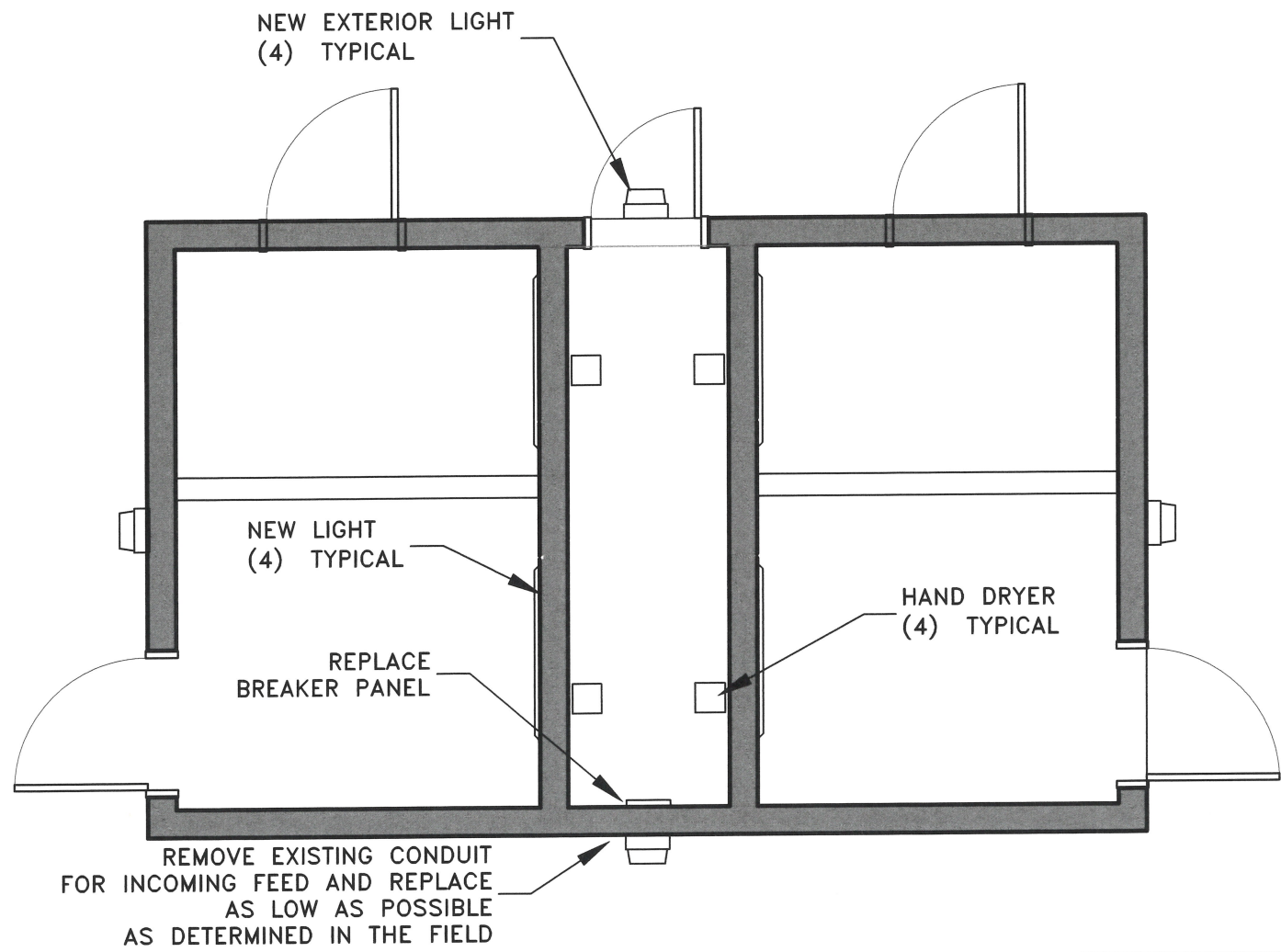
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SHEET NO. 4 OF 6

PROJECT NO: MS-23-02

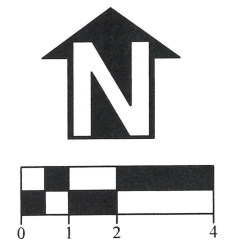
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ELECTRICAL FIXTURES		
ITEM	BRAND	MODEL/FEATURES
INTERIOR LIGHT	KENALL	N1048/ MOTION ACTIVATED WITH TIMER, VANDAL RESISTANT LENS
EXTERIOR LIGHT	KENALL	H1212ED VANDAL RESISTANT LENS
EXHAUST FAN	CONTRACTOR TO SUBMIT 100 CFM EXHAUST FAN	METAL GRILL W/ MOTION SENSOR AND TIMER
HAND DRYER	FASTAIRE	HDO3
BREAKER PANEL	UNSPECIFIED	100 AMP PANEL WITH MIN. 20 SPACES

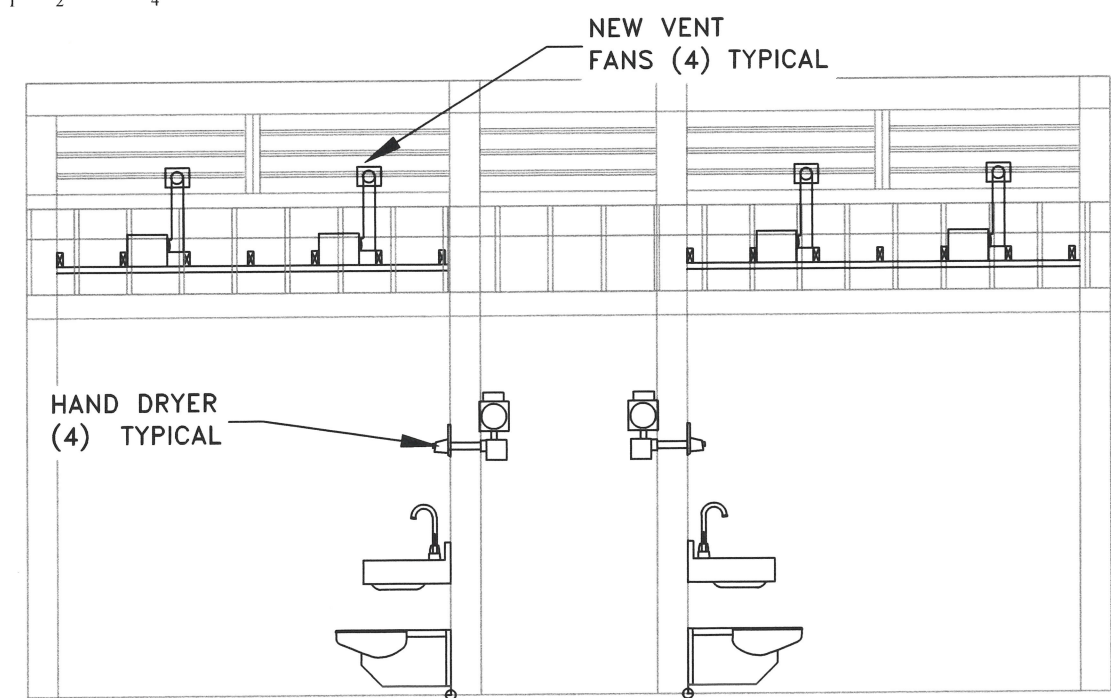
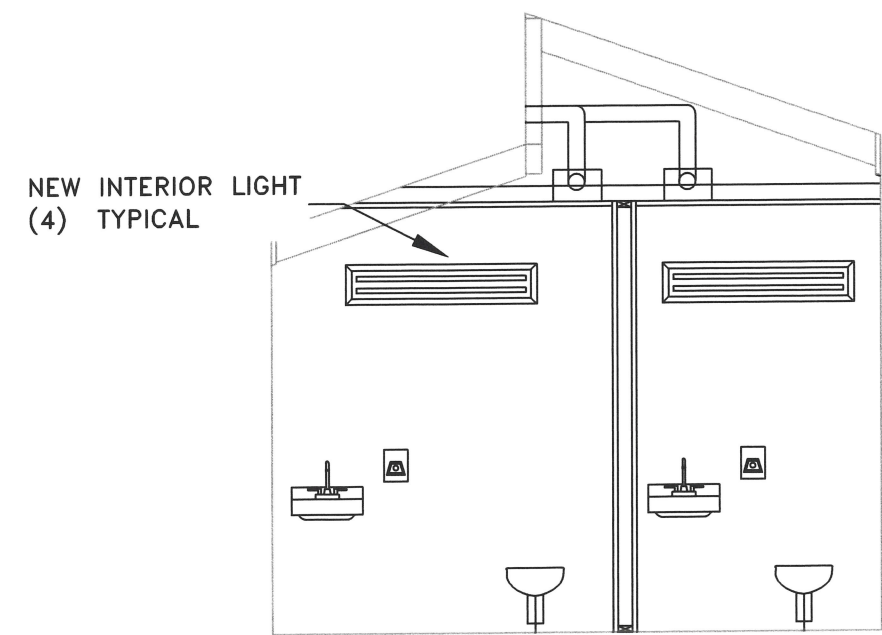
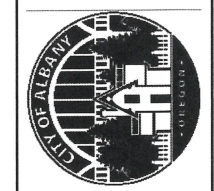
NOTE: ELECTRICAL SHOULD BE WIRED SO THAT BREAKERS SHUT OFF EQUIPMENT OR LIGHTING FOR A MAXIMUM OF TWO OF THE BATHROOMS AT A TIME.



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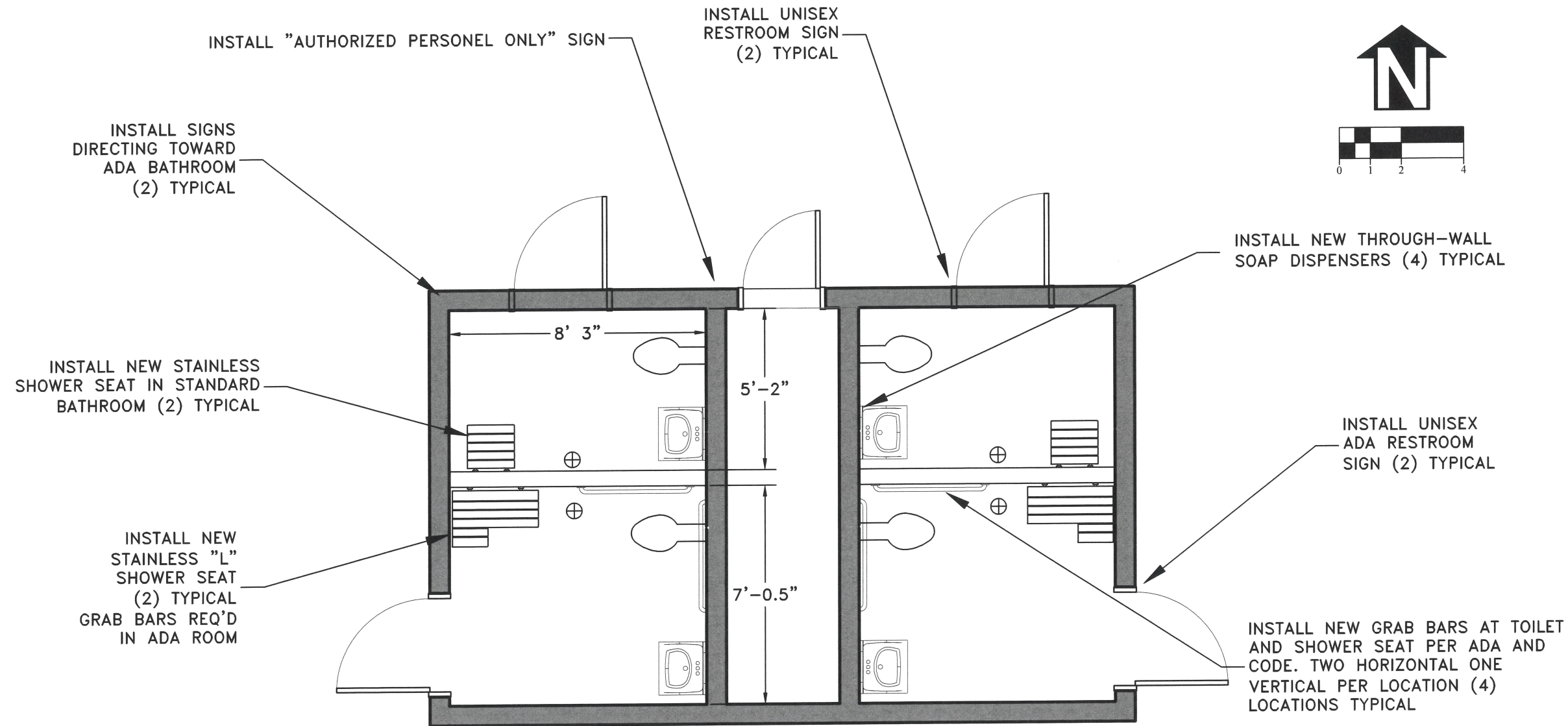
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MS-23-02, MONTEITH PARK RESTROOM REMODEL  
ELECTRICAL AND MECHANICAL



EXPIRATION DATE: 12/31/2024  
SHEET NO. 5 OF 6  
PROJECT NO: MS-23-02  
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**PUBLIC WORKS DEPARTMENT  
ENGINEERING SERVICES**



**MS-23-02, MONTEITH PARK RESTROOM REMODEL  
FIXTURES**

**FIXTURES (TABLE 1 OF 2)**

ITEM	BRAND	MODEL/FEATURES
DOOR KICKPLATE	UNSPECIFIED	MUST MEET CODE, 316 STAINLESS STEEL
EXTERIOR DOOR	CONTRACTOR TO SUBMIT	36" STEEL COMMERCIAL EXTERIOR DOOR
DOOR CLOSER	BEST	HD 8000 HEAVY TRAFFIC USE
DOOR LOCK (CITY TO PROVIDE DOOR HANDLE AND LOCK HARDWARE. CONTRACTOR SHALL INSTALL)	SCHLAGE	CO-100 VANDAL RESISTANT, BATTERY OPERATED, STANDALONE ELECTRONIC LOCK W/ OCCUPANCY INDICATOR AND BEST CORE SYSTEM COMPATIBLE

**FIXTURES (TABLE 2 OF 2)**

ITEM	BRAND	MODEL/FEATURES
SHOWER SEAT ADA	ASI	8208 ALL STAINLESS "L" SHAPED
SHOWER SEAT STANDARD	ASI	8207 ALL STAINLESS
SOAP DISPENSER	BOBRICK	B-8601
TOILET PAPER HOLDER	VANDAL STOP	AA-HRTD-LCx3E 12 GUAGE 316 STAINLESS
WALL HOOKS	ASI AMERICAN SPECIALTIES	STAINLESS STEEL, BREAKAWAY AT MIN. 30 LBS. MAX 40 LBS.
GRAB BARS	UNSPECIFIED	MUST MEET CODE, 316 STAINLESS STEEL
SANITARY WASTE RECEPTICAL	VANDAL STOP	VSP-SWR STAINLESS STEEL, VANDAL RESISTANT, WALL MOUNTED



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SHEET NO. 6 OF 6

PROJECT NO: MS-23-02

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