



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

Notice of Decision

Site Plan Review and Replat

SP-29-24 & RL-06-24

January 30, 2025

Application Information

Proposal:	Site Plan Review to establish a vocational school and a replat to consolidate two units of land.
Review Body:	Staff (Type I-L review)
Report Prepared By:	Jennifer Cepello, Project Planner
Property Owner:	Albany Industrial, LLC; C/O Freddie Hines III; 8625 Evergreen Way, Suite 200, Everett, WA 98208
Applicant:	Simone Duley; 4875 SW Griffith Drive Suite 300, Beaverton, OR 97005
Address/Location:	112 & 124 41st Avenue
Map/Tax Lot:	Linn County Assessor: 10S04W19A Tax Lots 1700 & 1800
Zoning:	Light Industrial (LI)

On January 30, 2025, the City of Albany Community Development Director granted **Approval with Conditions** of the application referenced above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code (ADC) with an effective date of July 12, 2024. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. For more information, please contact **Jennifer Cepello**, project planner, at 541-971-7561 or Current Planning Supervisor David Martineau at 541-917-7555. The staff report is available for review at albanyoregon.gov/cd/projectreview paper copies can be made available by request.

The City's decision may be appealed to the Albany Planning Commission if a person with standing files a completed notice of intent to appeal and the associated filing fee no later than 10 days from the date the City mails the notice of decision [ADC 1.220(7)]. The applicants may proceed, at their own risk, prior to the end of the appeal period, provided they sign a Release and Indemnity Agreement with the City.

This approval shall expire three years from the date of approval unless 1) the applicant has installed all of the required public infrastructure related to the development and the infrastructure has been accepted by the City, or 2) the applicant has provided financial assurance for all required public infrastructure per ADC Section 12.600, or 3) the development did not require public infrastructure, a valid building permit exists for new construction or improvements, and work has commenced.

Signature on file

Community Development Director

albanyoregon.gov/cd



Appeal Deadline: February 10, 2025

Approval Expiration Date (if not appealed): January 30, 2028

Attachments: Location Map, Site Plans

Conditions of Approval

- Condition 1: Prior to the commencement of on-site activity, the electrical service capacity must be installed to serve at least two parking spaces, one of which must be the provided ADA space.
- Condition 2: Prior to the commencement of on-site activities, the construction details of the covered bicycle structure must be provided and meet the requirements of ADC 9.030(4).
- Condition 3: Before the applicant can make a new storm drainage service connection to the public storm drainage system an Encroachment Permit must be obtained from the Public Works Department.
- Condition 4: Prior to the commencement of onsite activities, the applicant must obtain a stormwater quality permit through the City's Public Works Department and construct stormwater quality and detention facilities meeting the City's Engineering Standards.
- Condition 5: Prior to commencement of activities of the site, the applicant shall install public sidewalk to city standards along the frontage of the site on 41st Avenue as generally shown on the submitted site plan.

Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or ADC regulations or administrative policies of the planning, engineering, fire, or building departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to ensure compliance with all applicable regulations.

Planning

1. Land use approval does not constitute building or public works permit approvals.
2. Construction of the development must substantially conform to the approved Site Plan Review.
3. **To complete the replat process:**
 - a. **Satisfy the conditions of approval and submit a final partition plat to the City Planning Division for review and approval. The final plat must be accompanied by a completed final plat application.** A paper draft copy of the plat may be submitted with the application. The final plat application is available on the City's website.

Note: The Linn County Surveyor also needs to review the final plat. These reviews should be done concurrently. Contact the County Surveyor's Office to learn about their current processes, fees, and possible other expenses (property taxes must be current, for example).

- b. The survey and final plat must be prepared by a registered Professional Land Surveyor (Oregon Revised Statutes).
- c. If applicable, pay or segregate any existing City liens on the property, and pay or finance any other fees due as a result of the land division. Contact the Finance Department at 541-917-7533 to make these arrangements.
- d. After the City signs the final plats, they will be returned to the applicant for recording.

- e. **After recording, and before the City will accept a permit application** to develop either parcel, the property owner must return one copy of the recorded final plat to the Albany Planning Division.

Building

Permits

1. The proposed project may require permits that will need to be applied for at www.albanyoregon.gov/permits. For questions about permitting requirements, please email cd.customerservice@albanyoregon.gov.
2. The proposed design has not been reviewed for code compliance with the Oregon Building Code and the design will need to meet the applicable Oregon Building Code requirement in effect at the time of application.

Public Works - Engineering

The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

An erosion prevention and sediment control (EPSC) permit shall be obtained for land-disturbing activities affecting an area of 2,000 square feet or greater, cumulatively (AMC 12.40.030).

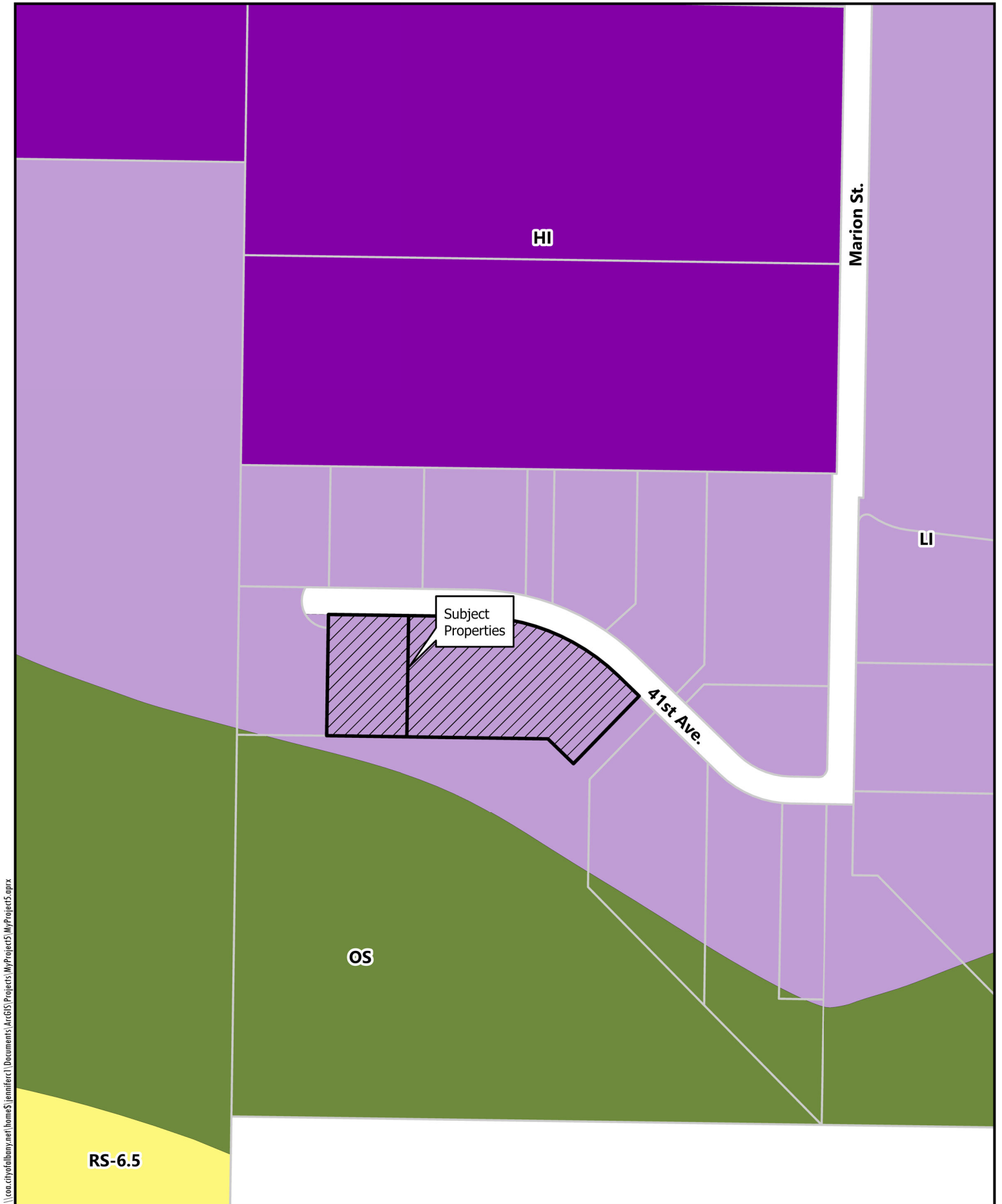
Fire

The fire department has reviewed the above project for conformance to the 2022 Oregon Fire Code (OFC) per your request and has the following comments.

**** NOTE: Addition of a private fire line will result in a quarterly Fire Line Fee***

****Land Use permit will include a \$125 Fire Plans Review fee****

1. Addressing shall be consistent with the site. Building numbers shall be posted to identify the site/structure/building. (OFC 505.1)
2. Approved fire apparatus roadways must extend to within 150 feet of all exterior portions of any structure that will be built on the property as measured by an *approved* route of travel around the exterior of the structure. (OFC 503.1.1)
3. The fire apparatus roadways for this project are required to be provided and maintained at a minimum of 20 feet wide of improved surface. (OFC 503.2.1)
4. The road surface for all private fire apparatus access roads shall be all weather and capable of supporting an imposed load from fire apparatus of at least 75,000 pounds as verified by a qualified State of Oregon licensed design professional. (OFC 503.2.3 & Appendix D, 102.1). The Designer of Record shall provide written certification to the Fire Department upon completion of all private access road construction.
5. This proposed project is located within a "Protected Area" as defined by Oregon Fire Code (OFC) Appendix B, Section B102 and this area is currently served by a public water system. The Fire Flow required shall be as specified in Appendix B of the fire code. (OFC 507.3)



\\csc.cityofalbany.net\homes\jeniferac\Documents\ArcGIS\Projects\MyProjects5\MyProjects5.aprx



0 50 100 200
Feet

Date: 11/20/2024 Map Source:

112 41st Avenue

Location Map

CDL DRIVING SCHOOL

112 41ST AVENUE

ALBANY, OREGON

ZONING ANALYSIS

JURISDICTION
CITY OF ALBANY, OREGON

ARTICLE 4 - COMMERCIAL AND INDUSTRIAL ZONING DISTRICTS
ZONING - LI - LIGHT INDUSTRIAL

ARTICLE 4.050 PERMITTED USED FOR LI
EDUCATIONAL INSTITUTION, PERMITTED UNDER SPECIAL CONDITION
VOCATIONAL OR TRADE SCHOOLS ALLOWED IN LI ZONE THROUGH SITE PLAN REVIEW.

ARTICLE 4.090 DEVELOPMENTAL STANDARDS FOR LI
LOT AREA : NONE
LOT WIDTH : NONE
LOT DEPTH : NONE
FRONT SETBACK : 15'-0"
INTERIOR SETBACK, ABUTTING NON-RESIDENTIAL : NONE
BUILDING HEIGHT MAX : NONE
LOT COVERAGE MAX : NONE

CHAPTER 16.94.020 - VEHICLE PARKING
EDUCATION : SUBJECT TO LAND USE REVIEW

DIMENSIONS, 2-WAY, 90-DEG:
9'-0" W x 18'-6" L, 26.0' AISLE, 3.0' BUMPER OVERHANG

CHAPTER 16.94.020 - BICYCLE PARKING
EDUCATION :
MIN 2 OR 1 PER 5 STUDENTS = 2
DIMENSIONS:
2.0' W x 6.0' L

VICINITY MAP



SHEET INDEX

NUMBER	SHEET NAME	SITE PLAN REVIEW
01 GENERAL		
A0.0	COVER SHEET	■
02 CIVIL		
C100	CIVIL SITE PLAN	■
03 LANDSCAPE		
L1.0	LANDSCAPE PLAN AND SPECS	■
05 ARCHITECTURAL		
A1.0	SITE SURVEY AND EXISTING CONDITIONS	■
A1.1	SITE PLAN	■
A1.3	SITE DETAILS	■

PROJECT SUMMARY

PROJECT DESCRIPTION

THE PROPOSED DEVELOPMENT SCOPE CONSISTS OF SITE WORK AND TWO BUILDINGS FOR THE CDL DRIVING SCHOOL. THE SITE IS 3.83 ACRES. PROPOSED ACCESS IS OFF OF 41ST AVENUE SE. THERE WILL BE A STORAGE SHED AND PRE-MANUFACTURED ACCESSIBLE RESTROOM TO SERVE THE SITE. THERE WILL BE 9 PARKING SPACES PROVIDED. THERE WILL BE A RE-PLAT CONCURRENTLY WITH THE PERMITTING TO RELOCATE THE PROPERTY LINE.

LOT DESCRIPTION

MAP & TAX LOT ID #11S03W19A 01700, 11S03W19A 01800
LOTS 10, 11, 12, AND 13, BLOCK 1, MARION INDUSTRIAL PARK, IN THE CITY OF ALBANY, COUNTY OF LINN AND STATE OF OREGON.

PROJECT TEAM

Owner:

ALBANY INDUSTRIAL LLC
8625 EVERGREEN WAY, SUITE 200
EVERETT, WA 98208
CONTACT PERSON: FREDDIE HINES III
EMAIL: FRED3@PCFRE.COM

Architect / Landscape:

MDG ARCHITECTURE | INTERIORS
4875 SW GRIFFITH DRIVE, SUITE 300
BEAVERTON, OR 97005
VOICE: 503-244-0552
CONTACT PERSON: TUAN Q. LUU, SIMONE DULEY
EMAIL: TUAN@MDGPC.COM,
SIMONE@MDGPC.COM

Civil Engineer:

CIVIL WEST ENGINEERING
200 FERRY STREET SW
ALBANY OR 97321
CONTACT PERSON: KERRY SESSIONS,
IAN BAER
EMAIL: KSESSIONS@CIVILWEST.NET,
IBAER@CIVILWEST.NET

Surveyor

TERRAMARK
8196 SW HALL BLVD, SUITE 201
BEAVERTON, OR 97008
CONTACT PERSON: MIKE HOFFMANN
EMAIL: MIKEH@TERRAMARKINC.COM

Client/ Owner:

**ALBANY
INDUSTRIAL
LLC**

8625 EVERGREEN WAY
SUITE 200
EVERETT WA 98208

Project:

**CDL DRIVING
SCHOOL**

112 41ST AVENUE SE
ALBANY OR 97322

Sheet Title:

COVER SHEET

Revisions:

#	Description	Date
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MANNER WITHOUT PRIOR WRITTEN PERMISSION.
Date: 11/15/2024
Job Number: 124030
Sheet

**FOR
REFERENCE
ONLY**



WILMAMETTE VALLEY 541.223.5130 WWW.CIVILWEST.COM

Client/ Owner:

**ALBANY
INDUSTRIAL
LLC**

8625 EVERGREEN WAY
SUITE 200
EVERETT WA 98208

Project:

**CDL DRIVING
SCHOOL**

112 41ST AVENUE SE
ALBANY OR 97322

Sheet Title:

Civil Site Plan

Revisions:

#	Description	Date
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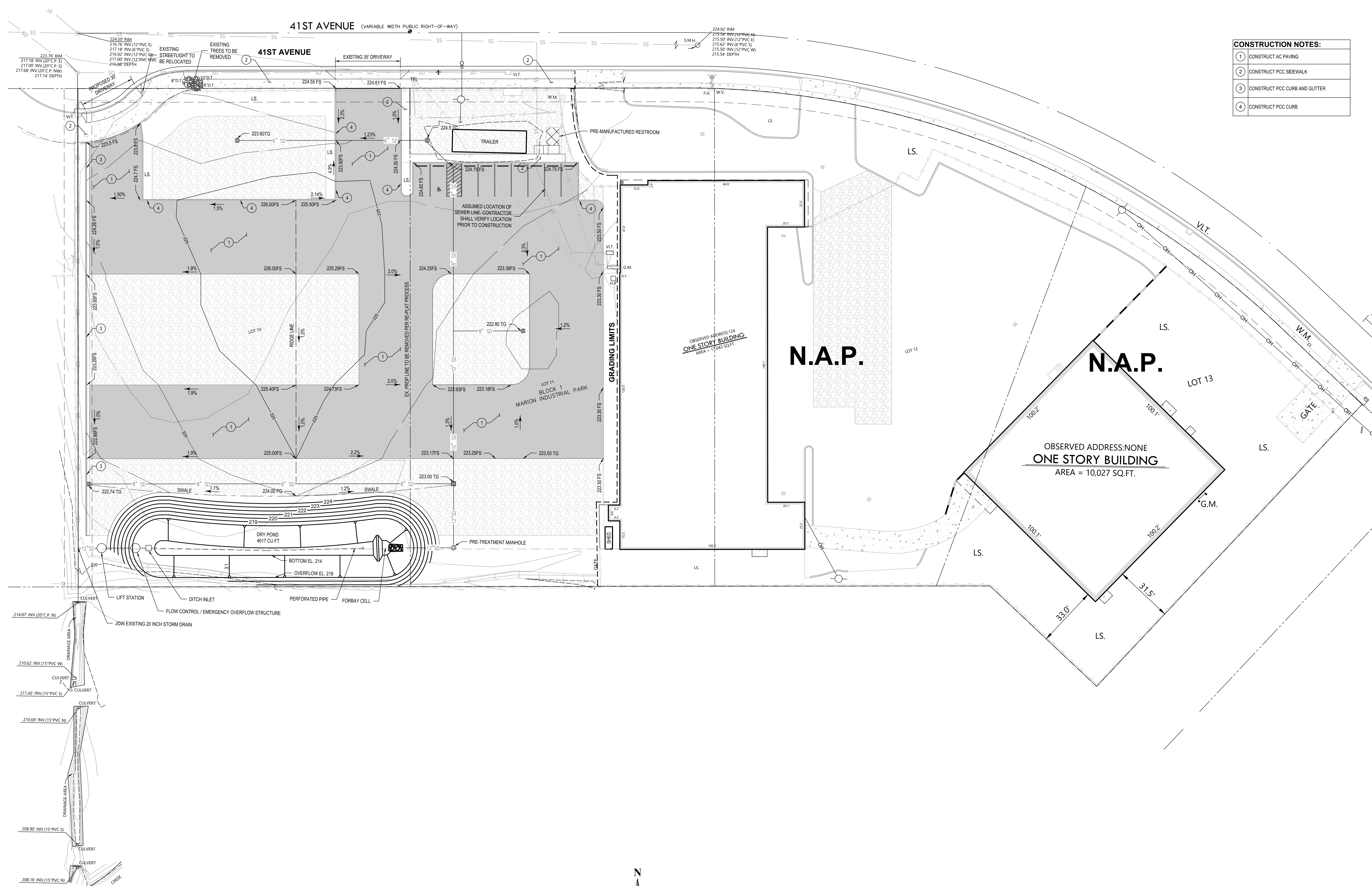
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Date: 11/15/2024

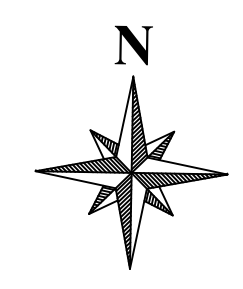
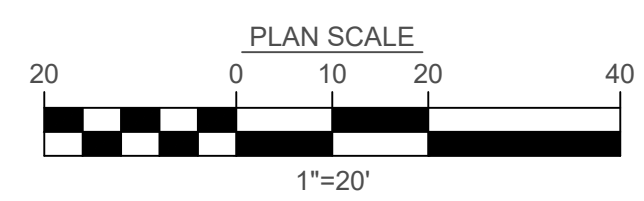
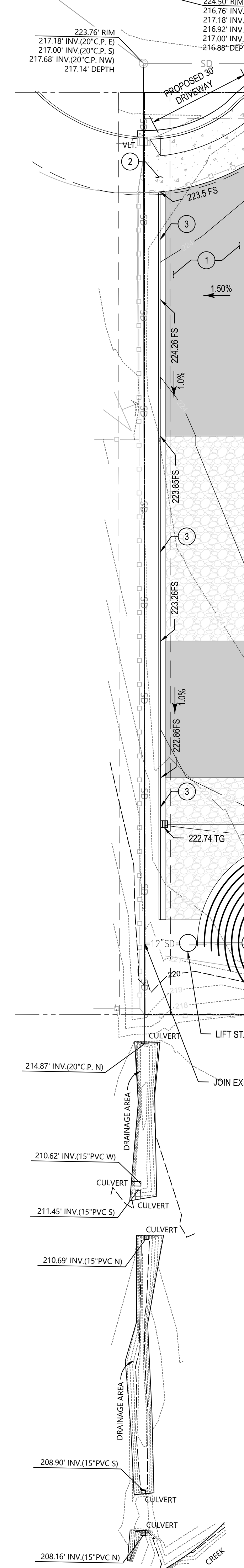
Job Number: 124030

Sheet

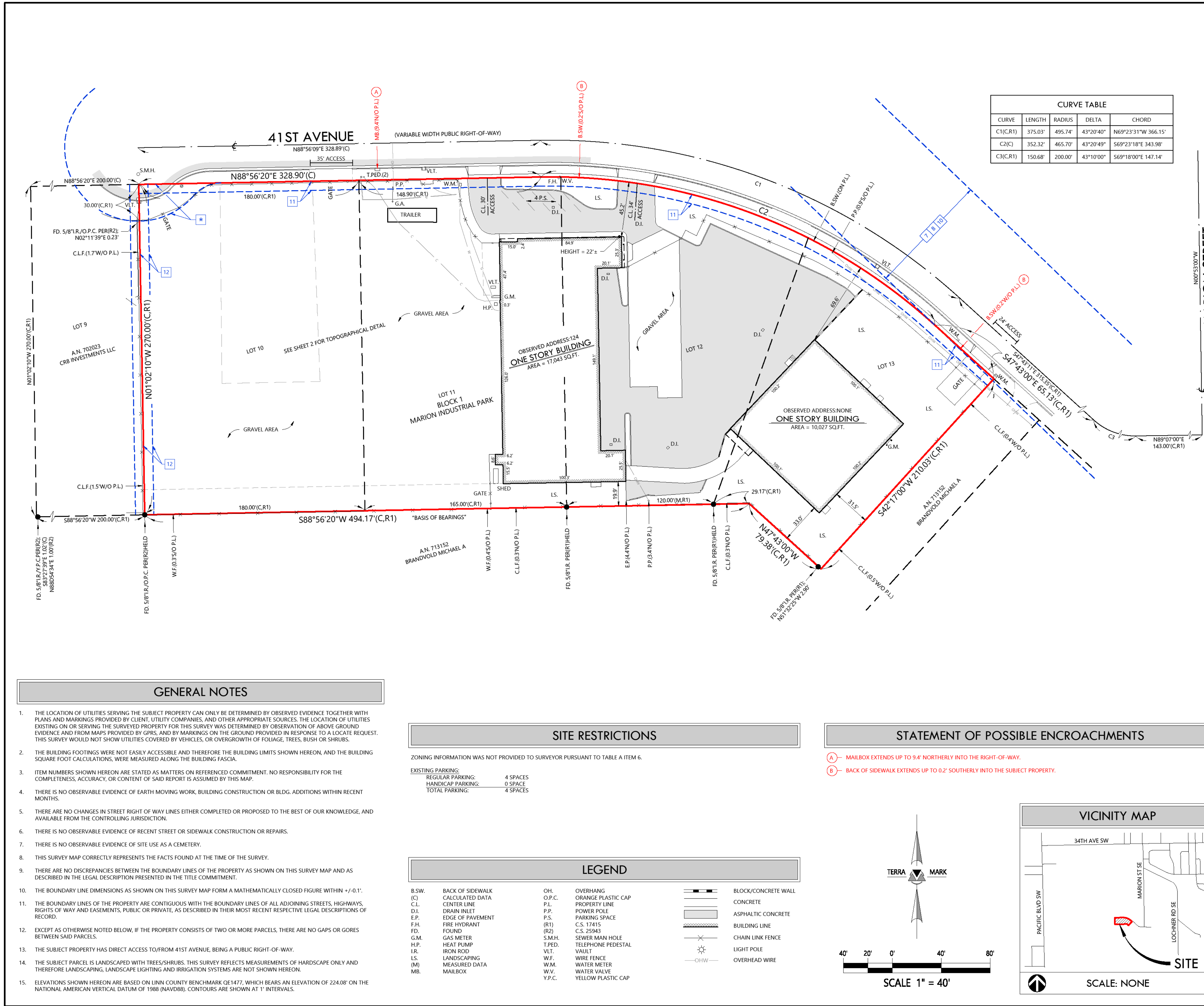


CONSTRUCTION NOTES:

1	CONSTRUCT AC PAVING
2	CONSTRUCT PCC SIDEWALK
3	CONSTRUCT PCC CURB AND GUTTER
4	CONSTRUCT PCC CURB



**FOR
REFERENCE
ONLY**



CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1(CR1)	375.03'	495.74'	43°20'40"
C2(C)	352.32'	465.70'	43°20'49"
C3(CR1)	150.68'	200.00'	43°10'00"

LEGAL DESCRIPTION

LOTS 10, 11, 12 AND 13, BLOCK 1, MARION INDUSTRIAL PARK, IN THE CITY OF ALBANY, COUNTY OF LINN AND STATE OF OREGON.
THE LEGAL DESCRIPTION SHOWN ABOVE DESCRIBES ALL THAT PROPERTY IN THE PRELIMINARY TITLE REPORT IDENTIFIED AS "FIDELITY NATIONAL TITLE COMPANY OF OREGON" ORDER NUMBER 60222104571, WITH AN EFFECTIVE DATE OF MAY 24, 2021.

LAND AREA

THE LAND AREA OF THE SUBJECT PROPERTY IS 166,561 SF (3.82 AC) AS DESCRIBED IN THE LEGAL DESCRIPTION SHOWN HEREON.

BASIS OF BEARINGS

THE BEARINGS SHOWN HEREON ARE BASED ON THE SOUTH LINE OF BLOCK 1 AS SHOWN ON MARION INDUSTRIAL PARK, FILED AS CS 17415 IN THE OFFICE OF THE LINN COUNTY SURVEYOR, STATE OF OREGON, BEING NORTH 88°56'20" EAST.

NOTES CORRESPONDING TO SCHEDULE B

- FIDELITY NATIONAL TITLE COMPANY OF OREGON; ORDER NO: 60222104571; EFFECTIVE DATE: MAY 24, 2021;
THE FOLLOWING SURVEY RELATED ITEMS WERE FOUND IN SAID TITLE REPORT AND ARE REFERENCED ON THIS MAP.
- 7 AN EASEMENT FOR ELECTRIC PURPOSES RECORDED MARCH 18, 1949 AS VOL. 207, PG. 331. SAID ITEM LIES ON THE SUBJECT PROPERTY AND IS SHOWN HEREON.
 - 8 AN EASEMENT FOR ELECTRIC PURPOSES RECORDED MAY 3, 1949 AS BK. 208, PG. 229. SAID ITEM LIES ON THE SUBJECT PROPERTY AND IS SHOWN HEREON.
 - 9 INTENTIONALLY DELETED
 - 10 TERMS AND PROVISIONS OF AN AGREEMENT RECORDED OCTOBER 14, 1980 AS VOL. 273, PG. 742. SAID ITEM LIES ON THE SUBJECT PROPERTY AND IS SHOWN HEREON.
 - 11 UTILITY EASEMENT SHOWN ON THE MAP OF SAID TRACT/PLAT, RECORDED AS SURVEY NO. 17415. SAID ITEM NOTES A 7.5' PUBLIC UTILITY EASEMENT AND IS SHOWN HEREON.
 - 12 DRAINAGE EASEMENT SHOWN ON THE MAP OF SAID TRACT/PLAT, RECORDED AS SURVEY NO. 17415. SAID ITEM NOTES A 15' DRAINAGE EASEMENT AND IS SHOWN HEREON.
 - * A TEMPORARY ROADWAY EASEMENT SHOWN ON THE MAP OF SAID TRACT/PLAT, RECORDED AS SURVEY NO. 17415. SAID ITEM LIES ON THE SUBJECT PROPERTY AND IS SHOWN HEREON.

FLOOD NOTE

THE SUBJECT PROPERTY LIES WITHIN ZONE "X" (UNSHADED) OF THE FLOOD INSURANCE RATE MAP NO. 41043C0526G, COMMUNITY PANEL NO. 410137 (05/01/06) WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 29, 2010. ZONE "X" (UNSHADED) IS DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

SURVEYOR'S CERTIFICATION

TO: PCF MANAGEMENT SERVICES, INC.; FIDELITY NATIONAL TITLE COMPANY OF OREGON
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 11, 13, 14, 16, AND 17 OF TABLE A THEREOF.

THE FIELDWORK WAS COMPLETED ON: 5/31/2024
DATE OF LAST REVISION:
MICHAEL A. HOFFMANN, P.L.S. 57847 (OREGON)
EXP. JUNE 30, 2025
MIKE@TERRAMARKINC.COM

REGISTERED PROFESSIONAL LAND SURVEYOR

OREGON FEBRUARY 19, 1999
MICHAEL A. HOFFMANN
57847/LS
EXPIRES: 30 JUNE, 2025

8196 SW HALL BOULEVARD, SUITE #111
BEAVERTON, OR 97008; PH: 503/860-2255

ALTA/NSPS LAND TITLE SURVEY

MARION INDUSTRIAL PARK

112-124 41ST AVENUE SOUTHEAST
ALBANY, OREGON 97322

DATE: 6/4/2024	DRAWN BY: K.J.M.
SCALE: 1" = 40'	CHECKED BY: M.A.H.
JOB NO: 20245828	SHEET: 1 OF 2

GENERAL NOTES

- THE LOCATION OF UTILITIES SERVING THE SUBJECT PROPERTY CAN ONLY BE DETERMINED BY OBSERVED EVIDENCE TOGETHER WITH PLANS AND MARKINGS PROVIDED BY CLIENT, UTILITY COMPANIES, AND OTHER APPROPRIATE SOURCES. THE LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY FOR THIS SURVEY WAS DETERMINED BY OBSERVATION OF ABOVE GROUND EVIDENCE AND FROM MAPS PROVIDED BY GPS, AND BY MARKINGS ON THE GROUND PROVIDED IN RESPONSE TO A LOCATE REQUEST. THIS SURVEY WOULD NOT SHOW UTILITIES COVERED BY VEHICLES, OR OVERGROWTH OF FOLIAGE, TREES, BUSH OR SHRUBS.
- THE BUILDING FOOTINGS WERE NOT EASILY ACCESSIBLE AND THEREFORE THE BUILDING LIMITS SHOWN HEREON, AND THE BUILDING SQUARE FOOT CALCULATIONS, WERE MEASURED ALONG THE BUILDING FASCIAS.
- ITEM NUMBERS SHOWN HEREON ARE STATED AS MATTERS OF REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.
- THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BLDG. ADDITIONS WITHIN RECENT MONTHS.
- THERE ARE NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED TO THE BEST OF OUR KNOWLEDGE, AND AVAILABLE FROM THE CONTROLLING JURISDICTION.
- THERE IS NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY.
- THIS SURVEY MAP CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY.
- THERE ARE NO DISCREPANCIES BETWEEN THE BOUNDARY LINES OF THE PROPERTY AS SHOWN ON THIS SURVEY MAP AND AS DESCRIBED IN THE LEGAL DESCRIPTION PRESENTED IN THE TITLE COMMITMENT.
- THE BOUNDARY LINE DIMENSIONS AS SHOWN ON THIS SURVEY MAP FORM A MATHEMATICALLY CLOSED FIGURE WITHIN +/-0.1'.
- THE BOUNDARY LINES OF THE PROPERTY ARE CONTIGUOUS WITH THE BOUNDARY LINES OF ALL ADJOINING STREETS, HIGHWAYS, RIGHTS OF WAY AND EASEMENTS, PUBLIC OR PRIVATE, AS DESCRIBED IN THEIR MOST RECENT RESPECTIVE LEGAL DESCRIPTIONS OF RECORD.
- EXCEPT AS OTHERWISE NOTED BELOW, IF THE PROPERTY CONSISTS OF TWO OR MORE PARCELS, THERE ARE NO GAPS OR GORES BETWEEN SAID PARCELS.
- THE SUBJECT PROPERTY HAS DIRECT ACCESS TO/FROM 41ST AVENUE, BEING A PUBLIC RIGHT-OF-WAY.
- THE SUBJECT PARCEL IS LANDSCAPED WITH TREES/SHRUBS. THIS SURVEY REFLECTS MEASUREMENTS OF HARDSCAPE ONLY AND THEREFORE LANDSCAPING, LANDSCAPE LIGHTING AND IRRIGATION SYSTEMS ARE NOT SHOWN HEREON.
- ELEVATIONS SHOWN HEREON ARE BASED ON LINN COUNTY BENCHMARK QE1477, WHICH BEARS AN ELEVATION OF 224.08' ON THE NATIONAL AMERICAN VERTICAL DATUM OF 1988 (NAVD88). CONTOURS ARE SHOWN AT 1' INTERVALS.

SITE RESTRICTIONS

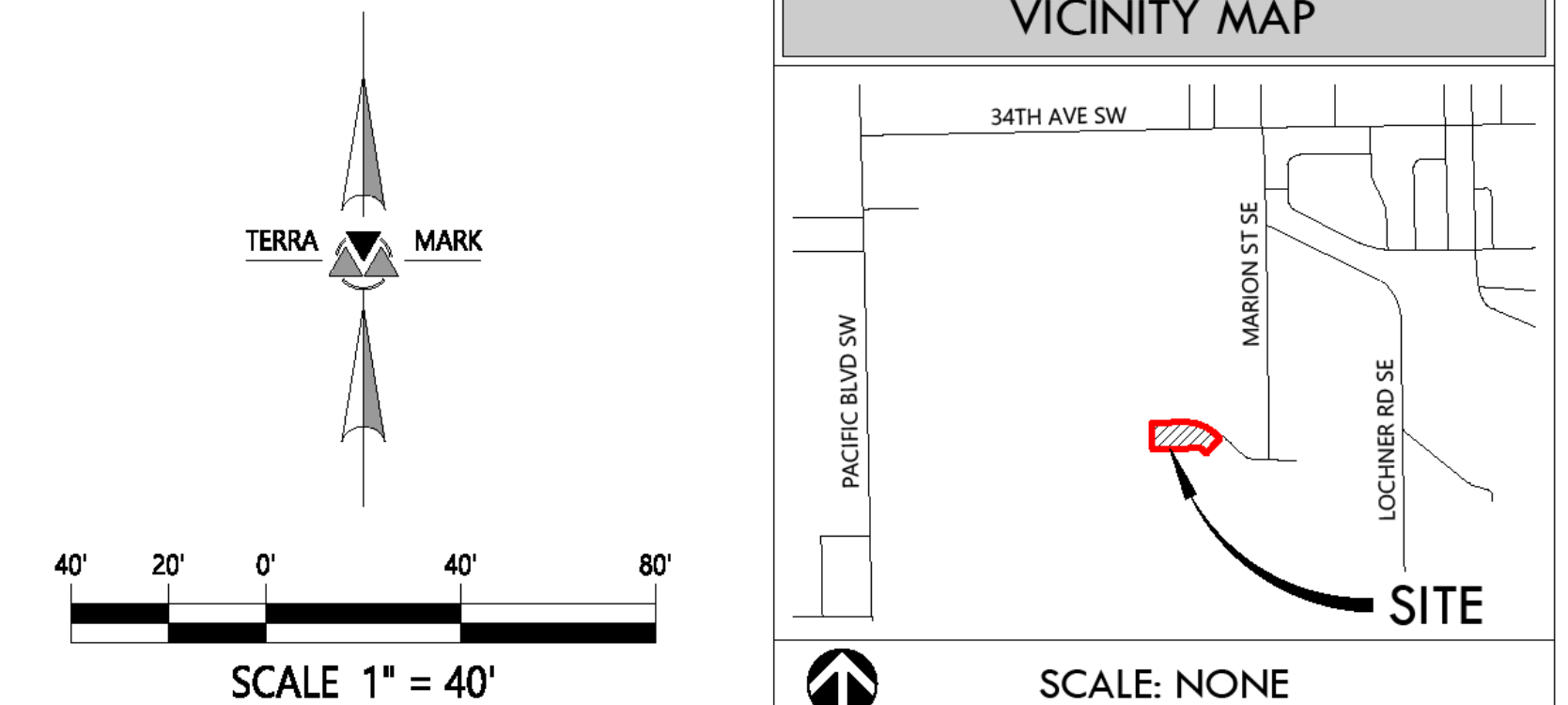
ZONING INFORMATION WAS NOT PROVIDED TO SURVEYOR PURSUANT TO TABLE A ITEM 6.
EXISTING PARKING:
REGULAR PARKING: 4 SPACES
HANDICAP PARKING: 0 SPACES
TOTAL PARKING: 4 SPACES

LEGEND

B.S.W. BACK OF SIDEWALK	OH. OVERHANG	—	BLOCK/CONCRETE WALL
(C) CALCULATED DATA	O.P.C. ORANGE PLASTIC CAP	—	CONCRETE
C.L. CENTER LINE	P.L. PROPERTY LINE	—	ASPHALTIC CONCRETE
D.I. DRAIN INLET	P.P. POWER POLE	—	BUILDING LINE
E.P. EDGE OF PAVEMENT	P.S. PARKING SPACE	—	CHAIN LINK FENCE
F.H. FIRE HYDRANT	C.S. 17415	—	LIGHT POLE
F.D. FOUND	C.S. 25943	—	OVERHEAD WIRE
G.M. GAS METER	S.M.H. SEWER MAN HOLE	—	
H.P. HEAT PUMP	T.P.E.D. TELEPHONE PEDestal	—	
I.R. IRON ROD	V.T. VAULT	—	
LS. LANDSCAPING	W.F. WIRE FENCE	—	
(M) MEASURED DATA	W.M. WATER METER	—	
MB. MAILBOX	W.V. WATER VALVE	—	
	Y.P.C. YELLOW PLASTIC CAP	—	

STATEMENT OF POSSIBLE ENCROACHMENTS

- (A) MAILBOX EXTENDS UP TO 9.4' NORTHERLY INTO THE RIGHT-OF-WAY.
- (B) BACK OF SIDEWALK EXTENDS UP TO 0.2' SOUTHERLY INTO THE SUBJECT PROPERTY.



Client/ Owner:
ALBANY INDUSTRIAL LLC
8625 EVERGREEN WAY
SUITE 200
EVERETT WA 98208
Project:
CDL DRIVING SCHOOL

112 41ST AVENUE SE
ALBANY OR 97322

Sheet Title:
SITE SURVEY AND EXISTING CONDITIONS

Revisions:
Description Date

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Date: 11/15/2024
Job Number: 124030
Sheet

GENERAL NOTES - SITE PLAN

- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CONFLICTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION RELATED TO SUCH.
- CONTRACTORS SHALL VERIFY LOCATIONS OF EXISTING UTILITIES. CONTRACTOR RESPONSIBLE FOR DAMAGE TO OR DISTURBANCE OF EXISTING UTILITIES.
- COORDINATE AND INSTALL FOUNDATION DRAINAGE IN ACCORDANCE WITH OWNER'S GEOTECHNICAL REPORT REQUIREMENTS.
- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL PUBLIC RIGHT-OF-WAY IMPROVEMENTS. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR THE LOCATION OF THE HOOK-UP.
- THE CONSTRUCTION SHALL NOT BE WITHIN 10' OF ANY POWER LINES - WHETHER OR NOT THE POWER LINES ARE LOCATED ON THE PROPERTY.
- DELEGATED DESIGN NFPA 13 FIRE SPRINKLER SYSTEM DESIGNED IN ACCORDANCE WITH OSSC 903.3.1.1 WILL BE A DEFERRED SUBMITTAL.

SITE AREA: 166,834 SF = 3.83 ACRES
 SITE AREA WITHIN SCOPE OF WORK: 75,910 SF = 1.74 ACRES
 BUILDING AREA: 590 SF
 PARKING/PAVING AREA: 32,265 SF
 LOT COVERAGE/IMPERV AREA: 590 SF + 32,265 SF = 32,855 SF
 32,855 SF / 75,910 SF = 43.2 %

REQUIRED LANDSCAPING:
 REQUIRED FRONT SETBACK
 10% OF PARKING AREA
 SEE LANDSCAPE PLAN FOR COMPLIANCE

VEHICLE PARKING:
 9 PARKING SPACES PROVIDED
 PER OSSC TABLE 1106.1, (1) ACCESSIBLE SPACES
 INCLUDING (1) VAN SPACE REQ'D

BICYCLE PARKING:
 EDUCATION 2 >= 2, OKAY

- ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE**
 SHALL BE PROVIDED IN ACCORDANCE WITH DIVISION 460 STRUCTURAL AND ENERGY EFFICIENCY SPECIALTY CODES SECTION 918-460-0200 SUMMARIZED AS FOLLOWS. CONTRACTOR TO VERIFY REQUIREMENTS AND COMPLY WITH MOST CURRENT REQUIREMENTS.
- 2A - NO LESS THAN 20%, ROUNDED UP TO THE NEAREST WHOLE NUMBER, OF THE SPACES IN THE GARAGE OR PARKING AREA FOR THE BUILDING; OR
 - 2B - IF LOCAL JURISDICTION REQUIRES MORE THAN THE QUANTITY NOTED IN ITEM 2A ABOVE, SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION'S REQUIREMENTS.
 - 3A - PROVISION OF BUILDING ELECTRICAL SERVICE, SIZED FOR THE ANTICIPATED LOAD OF ELECTRIC VEHICLE CHARGING STATIONS (EVCS), THAT HAS OVERCURRENT DEVICES NECESSARY FOR EVCS OR HAS ADEQUATE SPACE TO ADD OVERCURRENT DEVICES;
 - 3B - A DESIGNATED SPACE WITHIN A BUILDING TO ADD ELECTRICAL SERVICE WITH CAPACITY FOR EVCS; OR
 - 3C - A DESIGNATED LOCATION ON BUILDING PROPERTY, IN OR ADJACENT TO A LANDSCAPED AREA, FOR INSTALLING REMOTE SERVICE FOR EVCS;
 - 4 - A CONDUIT SYSTEM INSTALLED FROM THE BUILDING ELECTRICAL SERVICE, OR FROM THE DEDICATED SPACE OR LOCATION FOR A FUTURE ELECTRICAL SERVICE AS DESCRIBED IN SUBSECTION 3B OR 3C TO PARKING SPACES THAT CAN SUPPORT, AT A MINIMUM, ELECTRICAL WIRING FOR INSTALLATION OF LEVEL 2 EVCS. BOTH ENDS OF THE CONDUIT MUST BE LABELED TO SHOW THAT THE CONDUIT IS PROVIDED FOR FUTURE EVCS;
 - 5 - THE INSTALLATION OF A LEVEL 2 OR BETTER EVCS AT A PARKING SPACE SATISFIES THE INFRASTRUCTURE REQUIREMENTS OF THIS RULE FOR THAT PARKING SPACE.
 - 6 - ALL ELECTRICAL INSTALLATIONS MUST COMPLY WITH THE PROVISIONS OF THE OREGON ELECTRICAL SPECIALTY CODE.

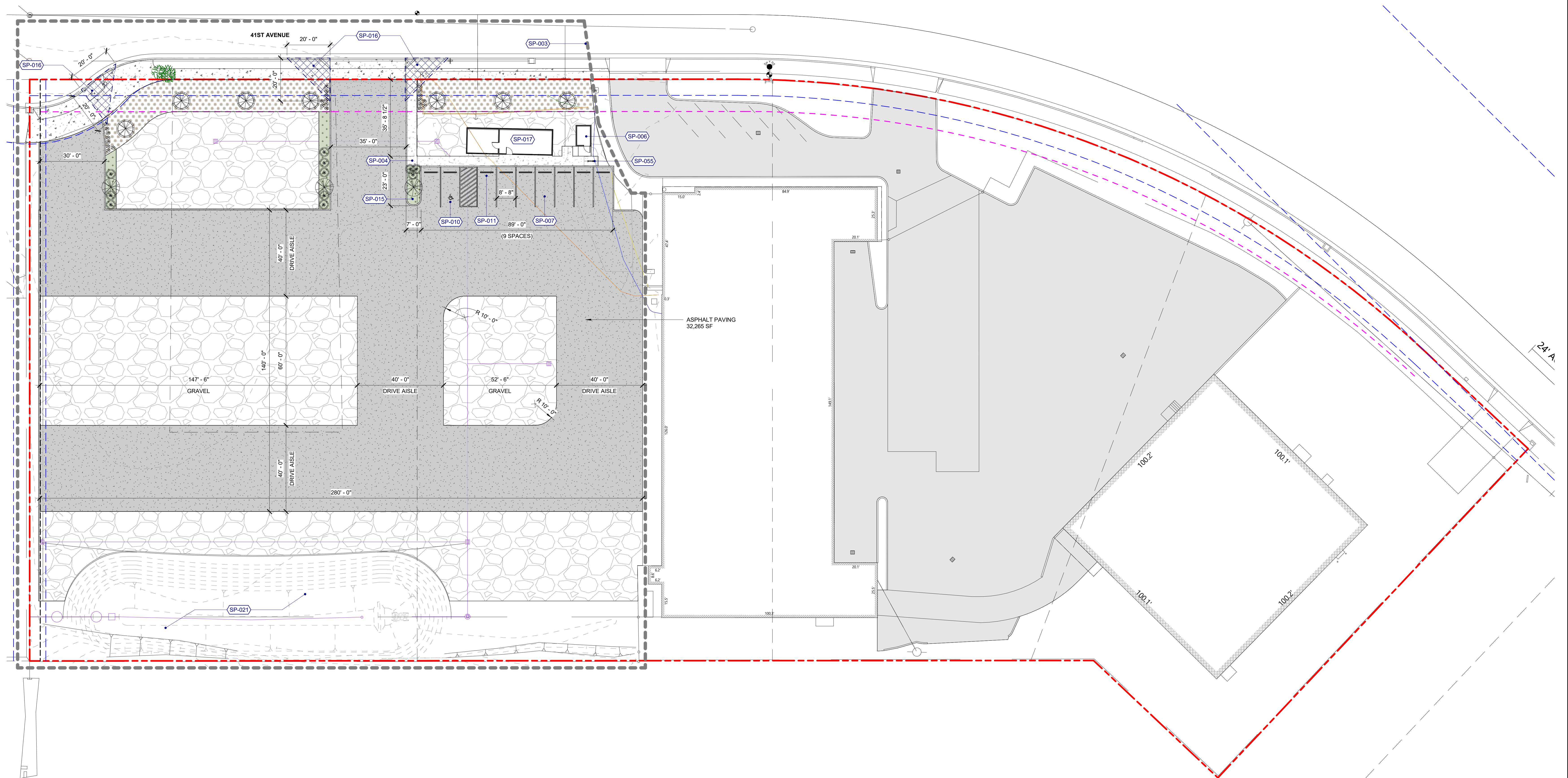
PROPOSED PARKING = 9 STALLS
 TOTAL PARKING = 9 STALLS X 20% = 1.8 => 1.8 EVCS STALLS REQUIRED < 2 PROPOSED, OKAY

KEYNOTES

- SP-003 LIMITS OF WORK
- SP-004 CURB AND SIDEWALK, 6" H
- SP-006 PRE-MANUFACTURED UNISEX ACCESSIBLE RESTROOM AND ACCESSIBLE RAMP
- SP-007 PARKING STALL, 9'-0" W X 18'-0" L, TYP
- SP-010 VAN ACCESSIBLE PARKING SPACE, AISLE, SIGNAGE AND RAMP
- SP-011 CARPOOL/VANPOOL PARKING SPACE, SPACE TO BE CLEARLY MARKED 'RESERVED' CARPOOL/VANPOOL ONLY PER ADC 9.035.
- SP-015 LANDSCAPE ISLAND
- SP-016 VISION CLEARANCE PER ADC 12.180
- SP-017 STORAGE TRAILER
- SP-021 ONSITE STORM FACILITY PER CIVIL
- SP-055 BIKE PARKING, (2) QTY

LEGEND

- AREA OF WORK
- PARKING COUNT SUBTOTAL
- SLOPE DOWN, UNO
- ▨ LANDSCAPE
- ▩ CONCRETE FLATWORK



Client/ Owner:
ALBANY INDUSTRIAL LLC

8625 EVERGREEN WAY
 SUITE 200
 EVERETT WA 98208

Project:
CDL DRIVING SCHOOL

112 41ST AVENUE SE
 ALBANY OR 97322

Sheet Title:
SITE PLAN

Revisions:

#	Description	Date

Client/ Owner:

ALBANY INDUSTRIAL LLC

8625 EVERGREEN WAY
SUITE 200
EVERETT WA 98208

Project:

CDL DRIVING SCHOOL

112 41ST AVENUE SE
ALBANY OR 97322

Sheet Title:

SITE DETAILS

Revisions:

#	Description	Date

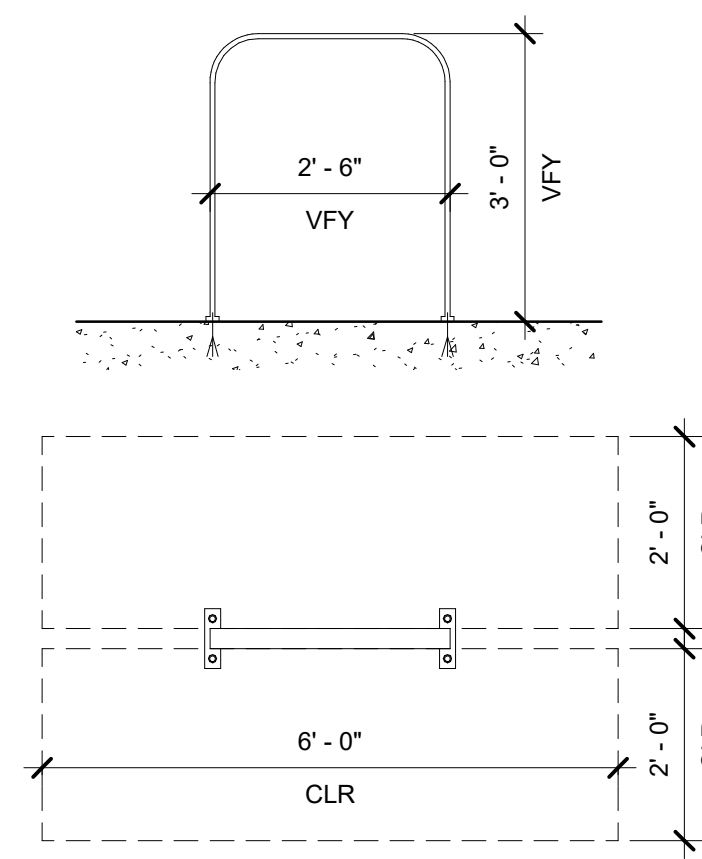
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Date: 11/15/2024

Job Number: 124030

Sheet



1 BIKE RACK
12" = 1'-0"

NOTE: INSTALL/ANCHOR PER MANUF REQ'S

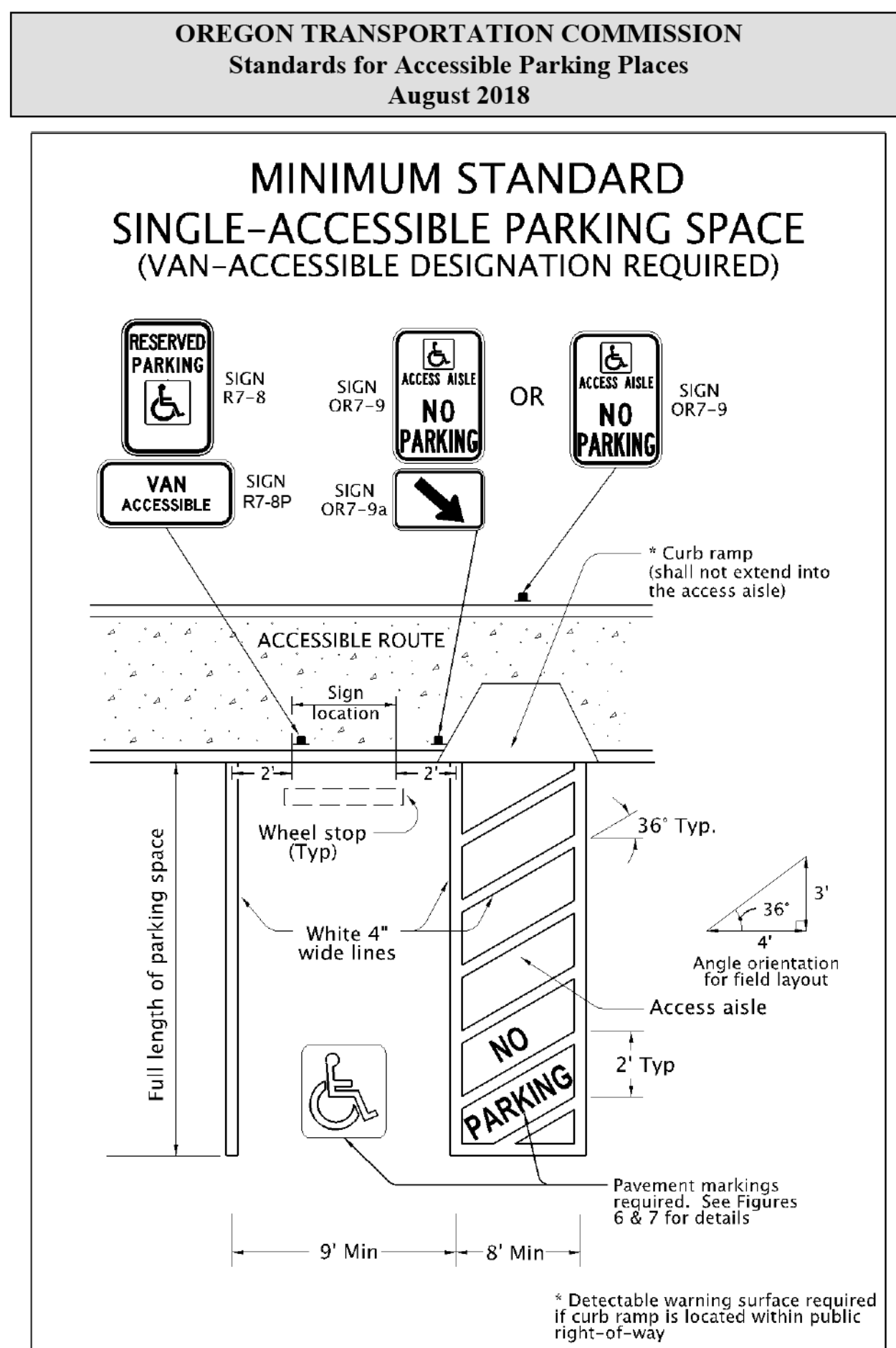


Figure 1

2 ODOT - SINGLE-ACCESSIBLE PARKING SPACE
12" = 1'-0"

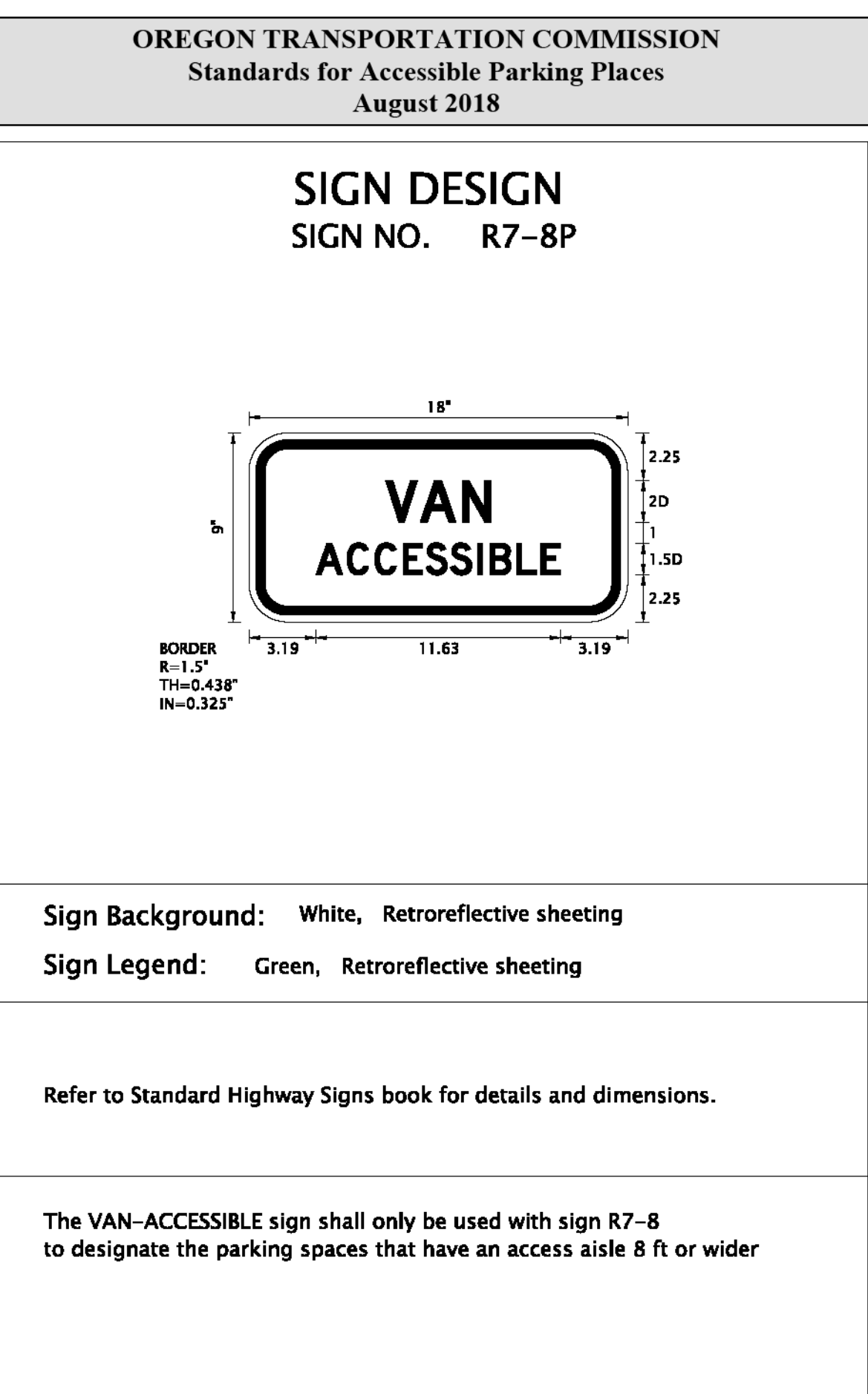


Figure 9

5 ODOT - SIGN R7-8P
12" = 1'-0"

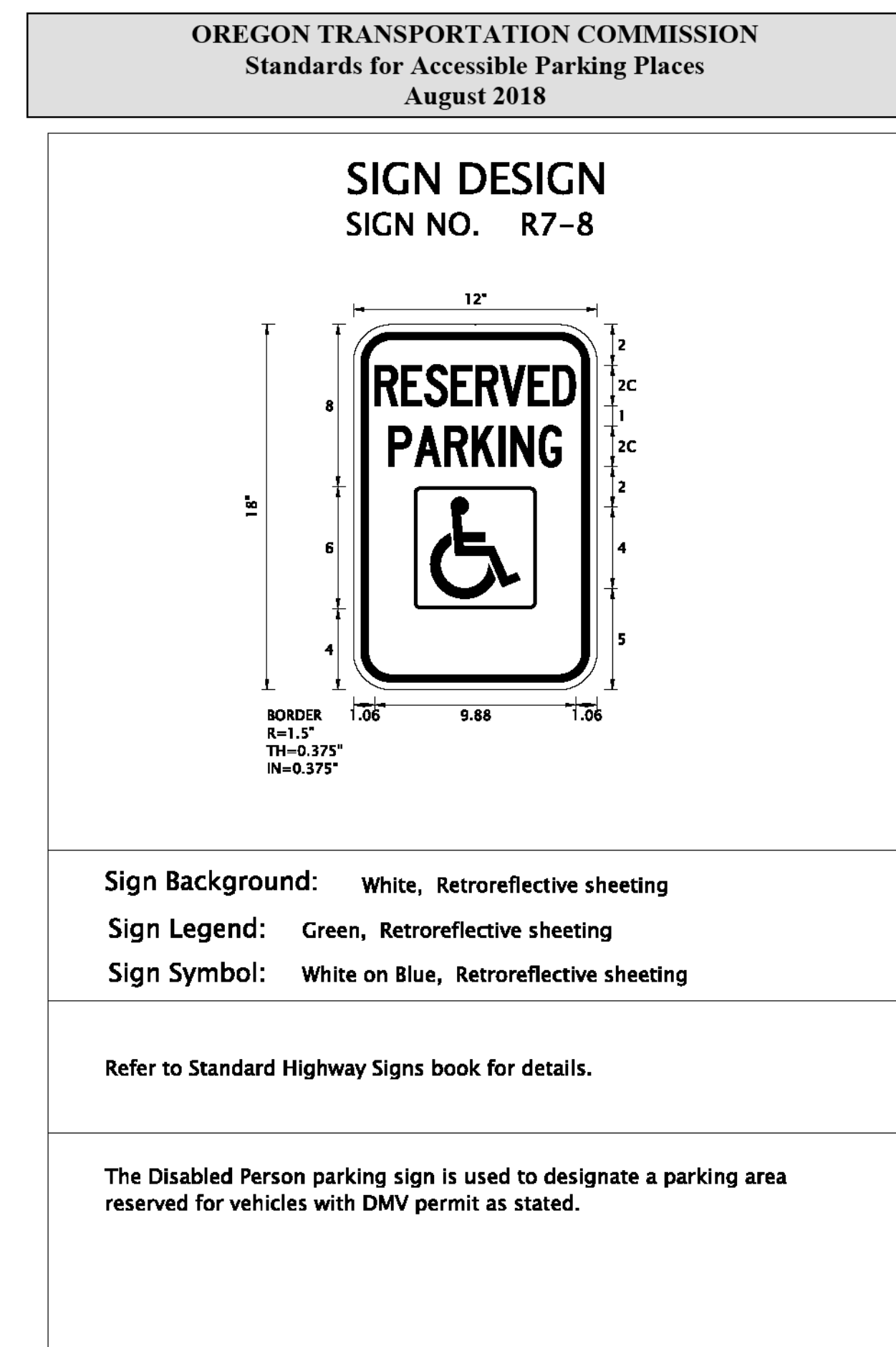


Figure 8

3 ODOT - SIGN R7-8
12" = 1'-0"

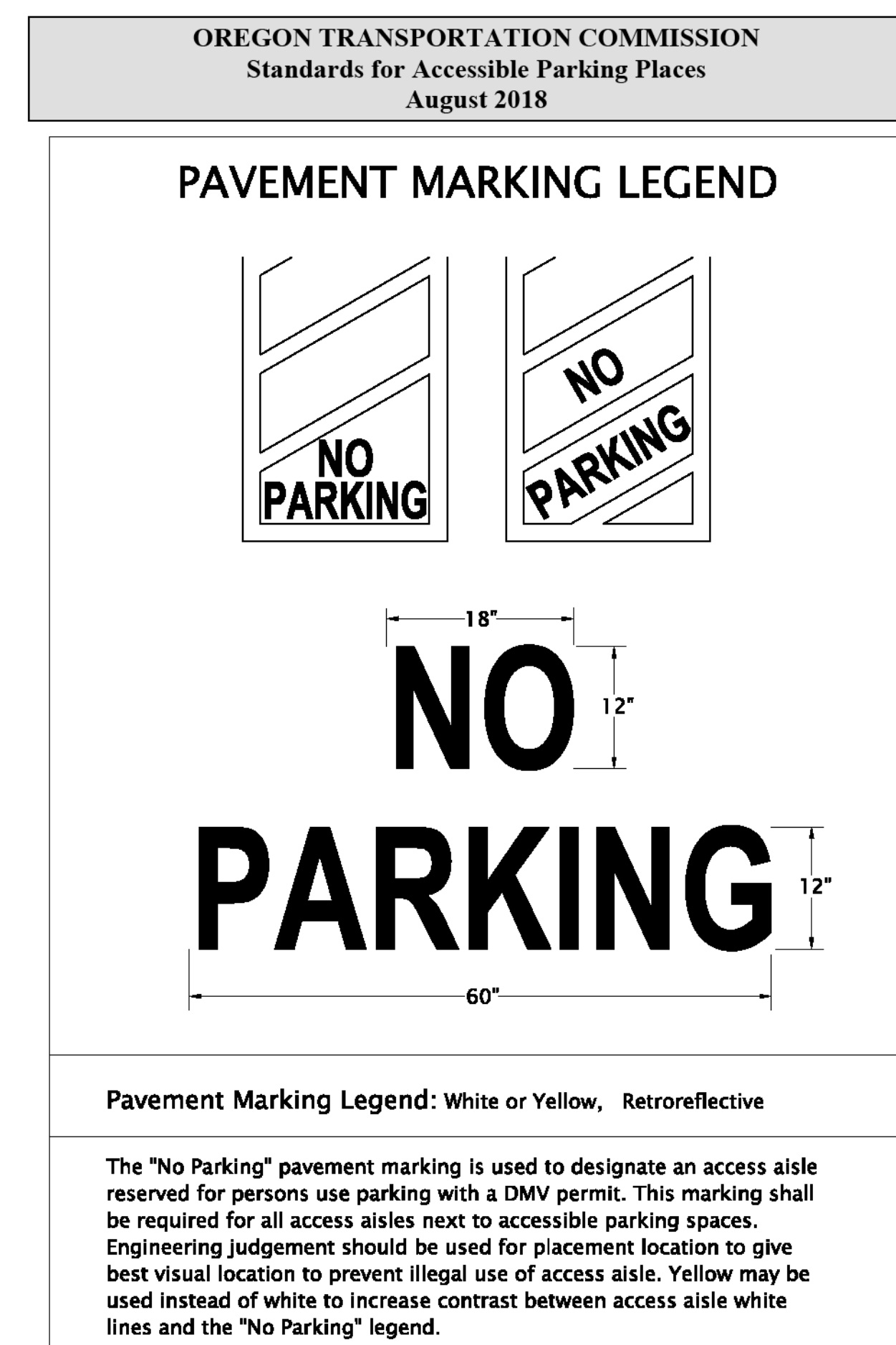


Figure 7

6 ODOT - MARKING LEGEND
12" = 1'-0"

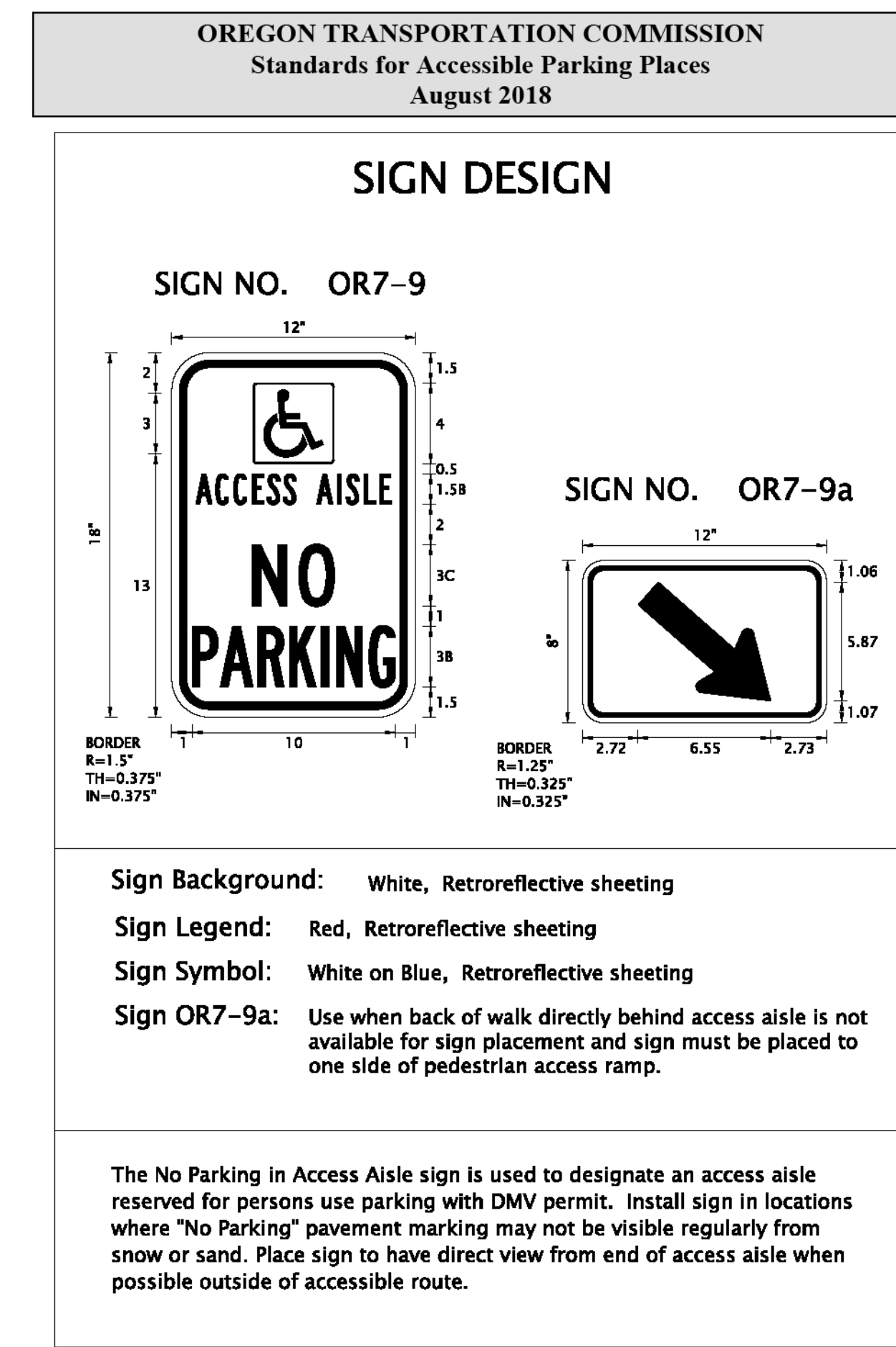


Figure 11

4 ODOT - SIGN OR7-9
12" = 1'-0"

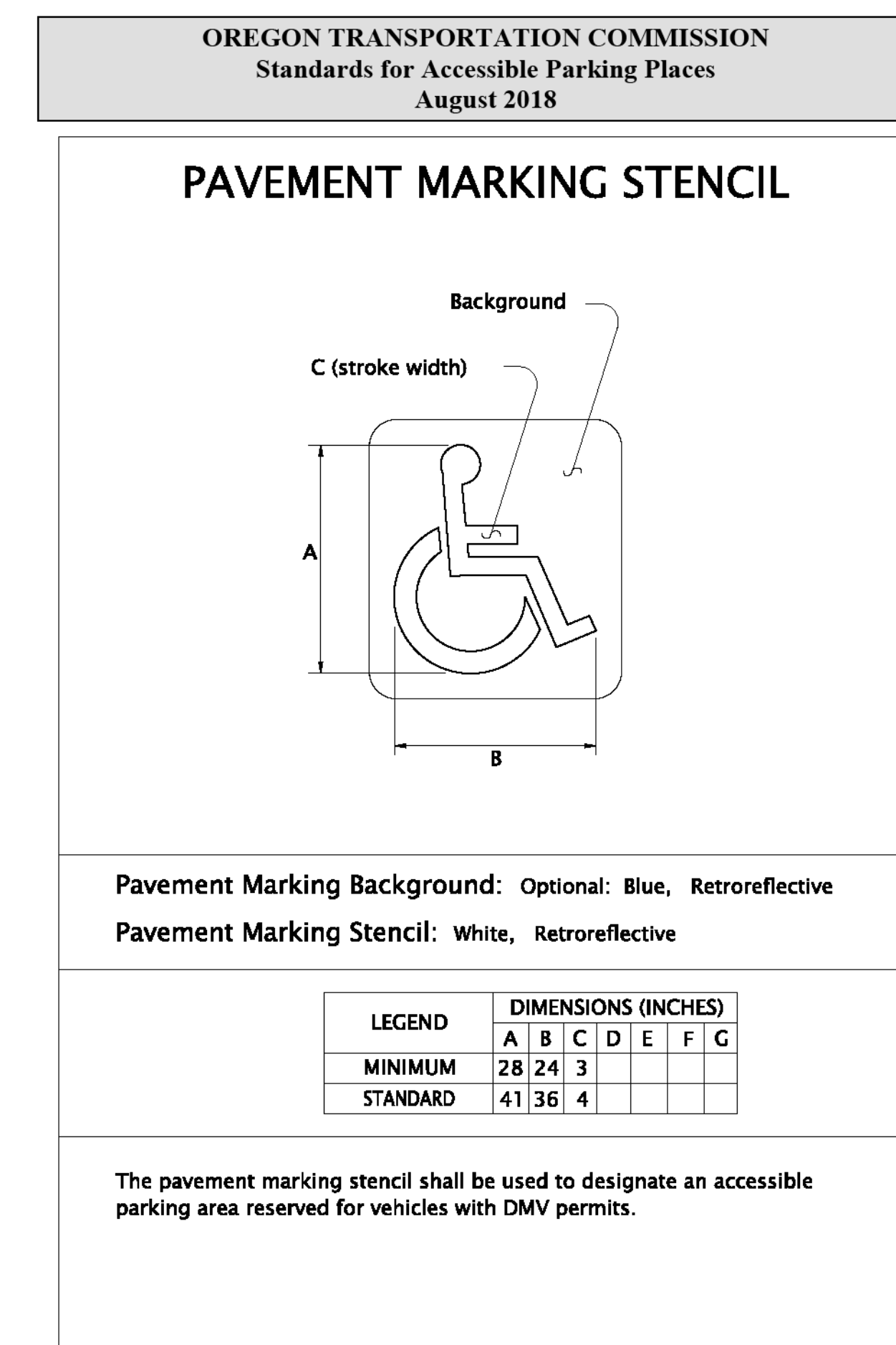


Figure 6

7 ODOT - MARKING STENCIL
12" = 1'-0"