

COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

Notice of Decision

Site Plan Review and Replat

Site Flair Review and Replat				
SP-29-24 & RL-06-24	January 30, 2025			
Application Information				
Proposal:	Site Plan Review to establish a vocational school and a replat to consolidate two units of land.			
Review Body:	Staff (Type I-L review)			
Report Prepared By:	Jennifer Cepello, Project Planner			
Property Owner:	Albany Industrial, LLC; C/O Freddie Hines III; 8625 Evergreen Way, Suite 200, Everett, WA 98208			
Applicant:	Simone Duley; 4875 SW Griffith Drive Suite 300, Beaverton, OR 97005			
Address/Location:	112 & 124 41st Avenue			
Map/Tax Lot:	Linn County Assessor: 10S04W19A Tax Lots 1700 & 1800			
Zoning:	Light Industrial (LI)			

On January 30, 2025, the City of Albany Community Development Director granted **Approval with Conditions** of the application referenced above.

The City based its decision on the project's conformance with the review criteria listed in the Albany Development Code (ADC) with an effective date of July 12, 2024. The supporting documentation relied upon by the City in making this decision is available for review at City Hall, 333 Broadalbin Street SW. For more information, please contact Jennifer Cepello, project planner, at 541-971-7561 or Current Planning Supervisor David Martineau at 541-917-7555. The staff report is available for review at albanyoregon.gov/cd/projectreview paper copies can be made available by request.

The City's decision may be appealed to the Albany Planning Commission if a person with standing files a completed notice of intent to appeal and the associated filing fee no later than 10 days from the date the City mails the notice of decision [ADC 1.220(7)]. The applicants may proceed, at their own risk, prior to the end of the appeal period, provided they sign a Release and Indemnity Agreement with the City.

This approval shall expire three years from the date of approval unless 1) the applicant has installed all of the required public infrastructure related to the development and the infrastructure has been accepted by the City, or 2) the applicant has provided financial assurance for all required public infrastructure per ADC Section 12.600, or 3) the development did not require public infrastructure, a valid building permit exists for new construction or improvements, and work has commenced.

Signature on file

Community Development Director



Appeal Deadline: February 10, 2025 Approval Expiration Date (if not appealed): January 30, 2028

Attachments: Location Map, Site Plans

Conditions of Approval

- Condition 1: Prior to the commencement of on-site activity, the electrical service capacity must be installed to serve at least two parking spaces, one of which must be the provided ADA space.
- Condition 2: Prior to the commencement of on-site activities, the construction details of the covered bicycle structure must be provided and meet the requirements of ADC 9.030(4).
- Condition 3: Before the applicant can make a new storm drainage service connection to the public storm drainage system an Encroachment Permit must be obtained from the Public Works Department.
- Condition 4: Prior to the commencement of onsite activities, the applicant must obtain a stormwater quality permit though the City's Public Works Department and construct stormwater quality and detention facilities meeting the City's Engineering Standards.
- Condition 5: Prior to commencement of activities of the site, the applicant shall install public sidewalk to city standards along the frontage of the site on 41st Avenue as generally shown on the submitted site plan.

Information for the Applicant

Please read the following requirements. This list is not meant to be all-inclusive; we have tried to compile requirements that relate to your specific type of development. These requirements are not conditions of the land use decision. They are Albany Municipal Code (AMC) or ADC regulations or administrative policies of the planning, engineering, fire, or building departments that you must meet as part of the development process. You must comply with state, federal, and local law. The issuance of this permit by the City of Albany does not eliminate the need for compliance with other federal, state, or local regulations. It is the applicant's responsibility to contact other federal, state, or local agencies or departments to ensure compliance with all applicable regulations.

Planning

- 1. Land use approval does not constitute building or public works permit approvals.
- 2. Construction of the development must substantially conform to the approved Site Plan Review.
- 3. To complete the replat process:
 - a. Satisfy the conditions of approval and submit a final partition plat to the City Planning Division for review and approval. The final plat must be accompanied by a completed final plat application. A paper draft copy of the plat may be submitted with the application. The final plat application is available on the City's website.

Note: <u>The Linn County Surveyor also needs to review the final plat</u>. These reviews should be done concurrently. Contact the County Surveyor's Office to learn about their current processes, fees, and possible other expenses (property taxes must be current, for example).

- b. The survey and final plat must be prepared by a registered Professional Land Surveyor (Oregon Revised Statutes).
- c. If applicable, pay or segregate any existing City liens on the property, and pay or finance any other fees due as a result of the land division. Contact the Finance Department at 541-917-7533 to make these arrangements.
- d. After the City signs the final plats, they will be returned to the applicant for recording.

e. After recording, and before the City will accept a permit application to develop either parcel, the property owner must return one copy of the recorded final plat to the Albany Planning Division.

Building

Permits

- 1. The proposed project may require permits that will need to be applied for at <u>www.albanyoregon.gov/permits</u>. For questions about permitting requirements, please email <u>cd.customerservice@albanyoregon.gov</u>.
- 2. The proposed design has not been reviewed for code compliance with the Oregon Building Code and the design will need to meet the applicable Oregon Building Code requirement in effect at the time of application.

Public Works - Engineering

The City of Albany's infrastructure records, drawings, and other documents have been gathered over many decades, using differing standards for quality control, documentation, and verification. All information provided represents the current information we have in a readily available format. While the information we provide is generally believed to be accurate, occasionally this information proves to be incorrect, and thus we do not warrant its accuracy. Prior to making any property purchases or other investments based, in full or in part, upon the information provided, we specifically advise that you independently field verify the information contained within our records.

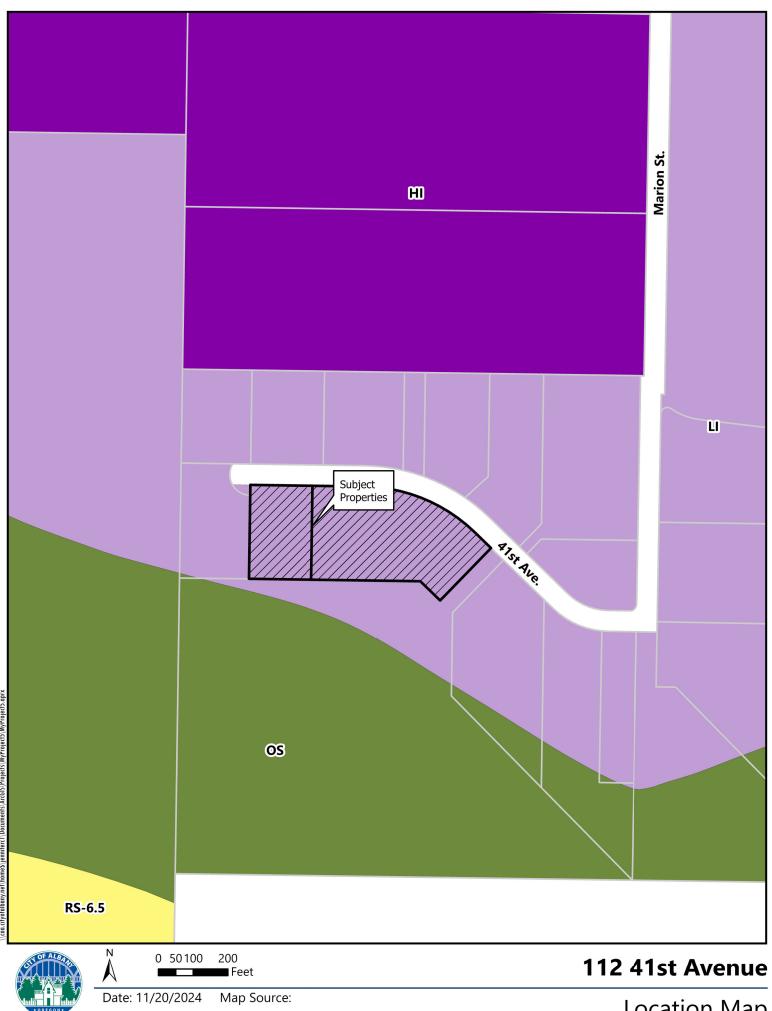
An erosion prevention and sediment control (EPSC) permit shall be obtained for land-disturbing activities affecting an area of 2,000 square feet or greater, cumulatively (AMC 12.40.030).

Fire

The fire department has reviewed the above project for conformance to the 2022 Oregon Fire Code (OFC) per your request and has the following comments.

** NOTE: Addition of a private fire line will result in a quarterly Fire Line Fee* **Land Use permit will include a \$125 Fire Plans Review fee**

- 1. Addressing shall be consistent with the site. Building numbers shall be posted to identify the site/structure/building. (OFC 505.1)
- 2. Approved fire apparatus roadways must extend to within 150 feet of all exterior portions of any structure that will be built on the property as measured by an *approved* route of travel around the exterior of the structure. (OFC 503.1.1)
- 3. The fire apparatus roadways for this project are required to be provided and maintained at a minimum of 20 feet wide of improved surface. (OFC 503.2.1)
- 4. The road surface for all private fire apparatus access roads shall be all weather and capable of supporting an imposed load from fire apparatus of at least 75,000 pounds as verified by a qualified State of Oregon licensed design professional. (OFC 503.2.3 & Appendix D, 102.1). The Designer of Record shall provide written certification to the Fire Department upon completion of all private access road construction.
- 5. This proposed project is located within a "Protected Area" as defined by Oregon Fire Code (OFC) Appendix B, Section B102 and this area is currently served by a public water system. The Fire Flow required shall be as specified in Appendix B of the fire code. (OFC 507.3)



Location Map

11241STAVENUE

ZONING ANALYSIS

<u>JURISDICTION</u> CITY OF ALBANY, OREGON

ARTICLE 4 : COMMERCIAL AND INDUSTRIAL ZONING DISTRICTS ZONING - LI- LIGHT INDUSTRIAL

ARTICLE 4.050 PERMITTED USED FOR LI EDUCATIONAL INSTITUTION, PERMITTED UNDER SPECIAL CONDITION VOCATIONAL OR TRADE SCHOOLS ALLOWED IN LI ZONE THROUGH SITE PLAN REVIEW.

ARTICLE 4.090 DEVELOPMENTAL STANDARDS FOR LI LOT AREA : NONE LOT WIDTH : NONE

LOT DEPTH : NONE FRONT SETBACK : 15'-0"

INTERIOR SETBACK, ABUTTING NON-RESIDENTIAL : NONE BUILDING HEIGHT MAX : NONE LOT COVERAGE MAX : NONE

CHAPTER 16.94.020 - VEHICLE PARKING EDUCATION : SUBJECT TO LAND USE REVIEW

DIMENSIONS, 2-WAY, 90-DEG: 9'-0" W x 18'-6" L, 26.0' AISLE, 3.0' BUMPER OVERHANG

CHAPTER 16.94.020 - BICYCLE PARKING EDUCATION :

MIN: 2 OR 1 PER 5 STUDENTS = 2 DIMENSIONS: 2.0'W x 6.0'L

PROJECT SUMMARY

PROJECT DESCRIPTION

THE PROPOSED DEVELOPMENT SCOPE CONSISTS OF SITE WORK AND TWO BUILDINGS FOR THE CDL DRIVING SCHOOL. THE SITE IS 3.83 ACRES, PROPOSED ACCESS IS OFF OF 41ST AVENUE SE. THERE WILL BE A STORAGE SHED AND PRE-MANUFACTURED ACCESSIBLE RESTROOM TO SERVE THE SITE. THERE WILL BE 9 PARKING SPACES PROVIDED. THERE WILL BE A RE-PLAT CONCURRENTLY WITH THE PERMITTING TO RELOCATE THE PROPERTY LINE.

LOT DESCRIPTION

MAP & TAX LOT ID #11S03W19A 01700, 11S03W19A 01800 LOTS 10, 11, 12, AND 13, BLOCK 1, MARION INDUSTRIAL PARK, IN THE CITY OF ALBANY, COUNTY OF LINN AND STATE OF OREGON.

PROJECT TEAM

Owner:

ALBANY INDUSTRIAL LLC 8625 EVERGREEN WAY, SUITE 200 EVERETT, WA 98208 CONTACT PERSON: FREDDIE HINES III EMAIL: FRED3@PCFRE.COM

Civil Engineer:

CIVIL WEST ENGINEERING 200 FERRY STREET SW ALBANY OR 97321 CONTACT PERSON: KERRY SESSIONS, IAN BAER EMAIL: KSESSIONS@CIVILWEST.NET, IBAER@CIVILWEST.NET

Architect / Landscape:

MDG ARCHITECTURE | INTERIORS 4875 SW GRIFFITH DRIVE, SUITE 300 BEAVERTON, OR 97005 VOICE: 503-244-0552 CONTACT PERSON: TUAN Q. LUU, SIMONE DULEY EMAIL: TUAN@MDGPC.COM, SIMONE@MDGPC.COM

Surveyor

TERRAMARK 8196 SW HALL BLVD, SUITE 201 BEAVERTON, OR 97008 CONTACT PERSON: MIKE HOFFMANN EMAIL: MIKEH@TERRAMARKINC.COM



VICINITY MAP

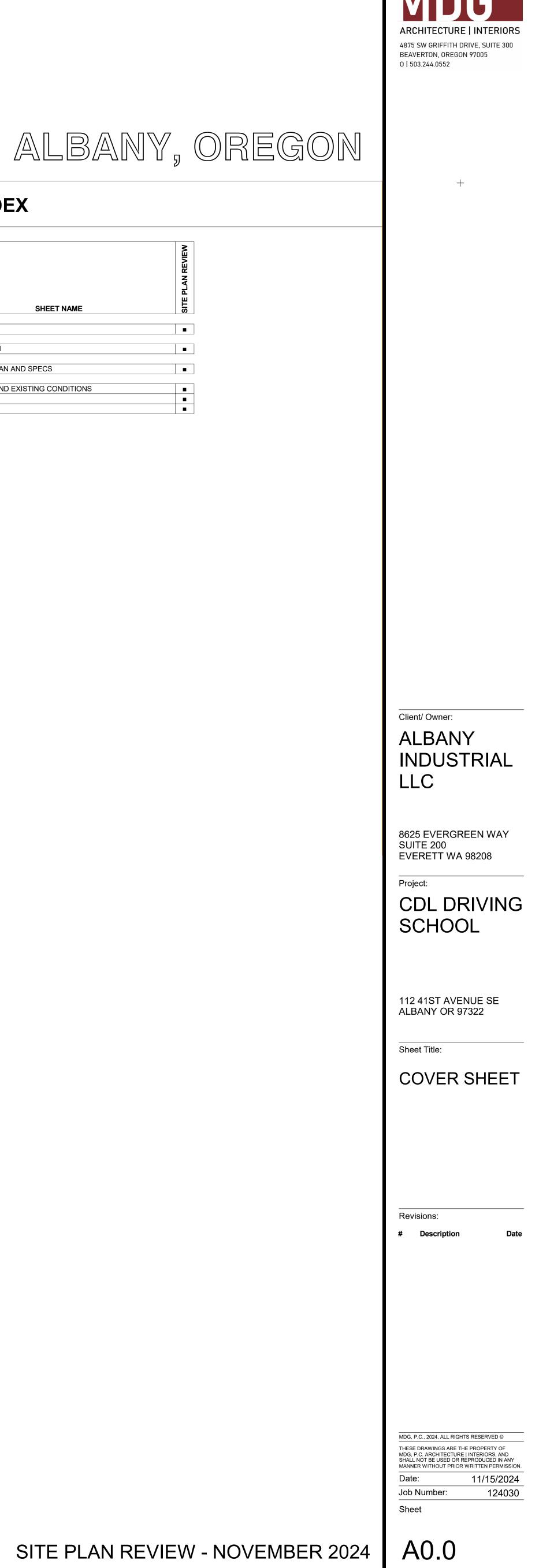


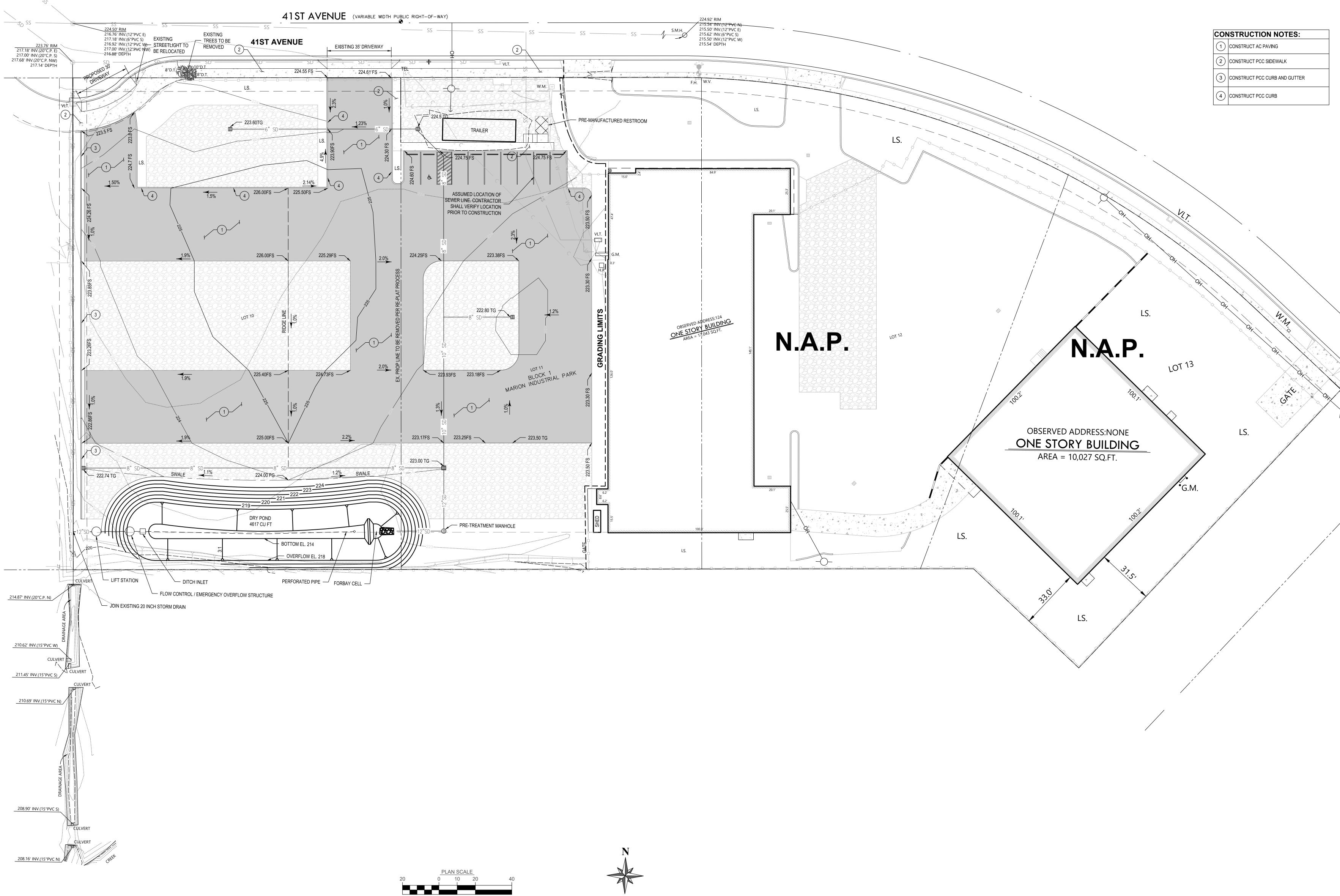
SHEET INDEX

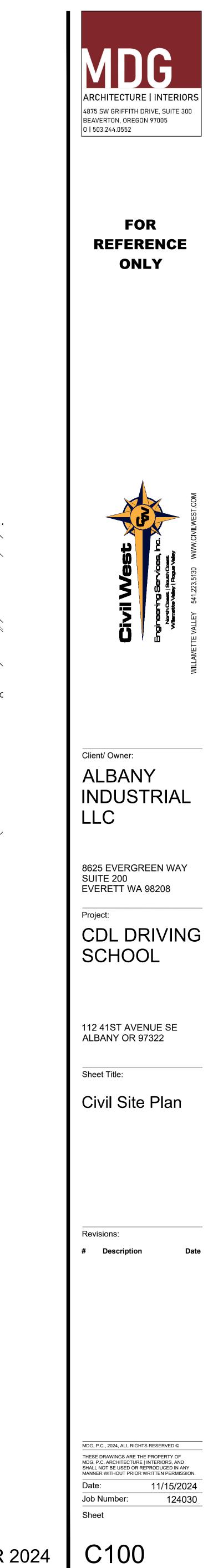
NUMBER	SHEET NAME	SITE PLAN REVIE
01 GENERA	L	
A0.0	COVER SHEET	
02 CIVIL		
C100	CIVIL SITE PLAN	
03 LANDSCAPE		
L1.0	LANDSCAPE PLAN AND SPECS	
05 ARCHITECTURAL		
A1.0	SITE SURVEY AND EXISTING CONDITIONS	
A1.1	SITE PLAN	
A1.3	SITE DETAILS	-

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SITE PLAN REVIEW - NOVEMBER 2024







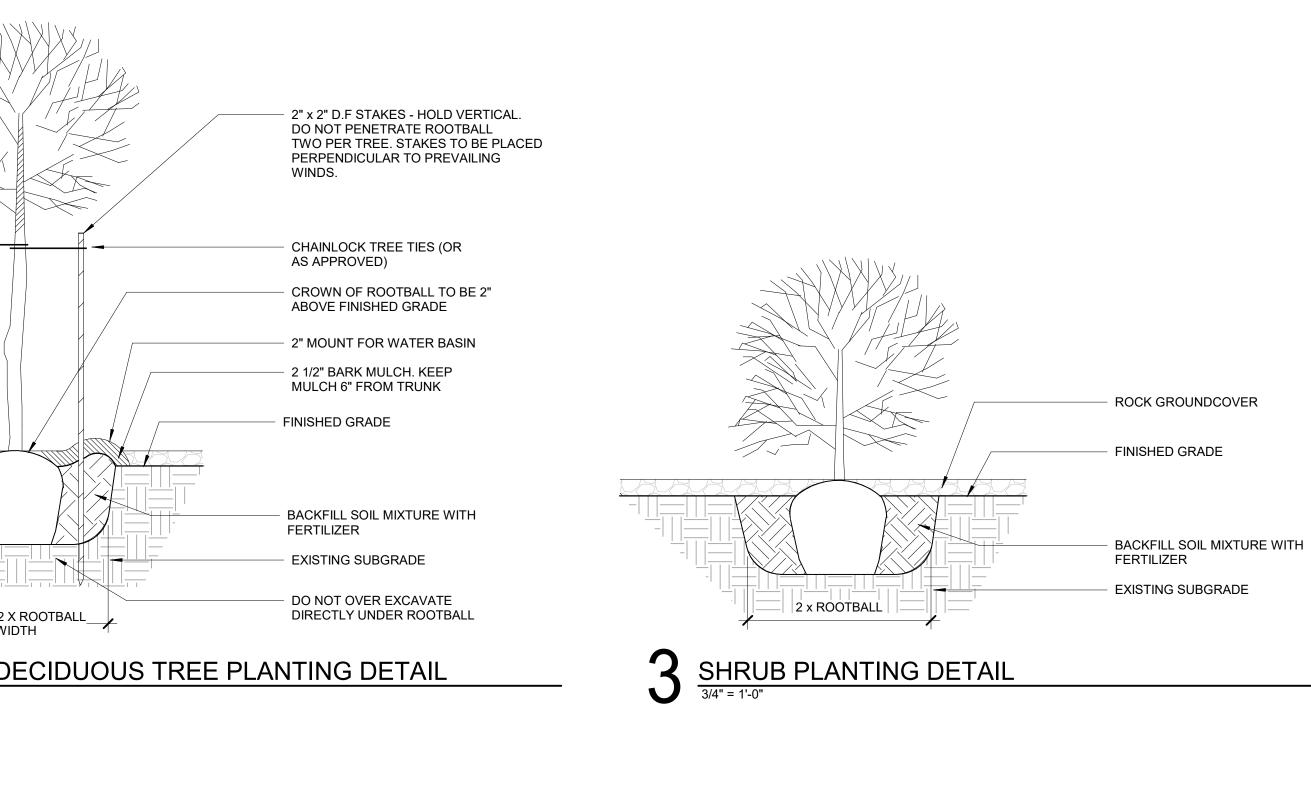
LANDSCAPE GENERAL NOTES

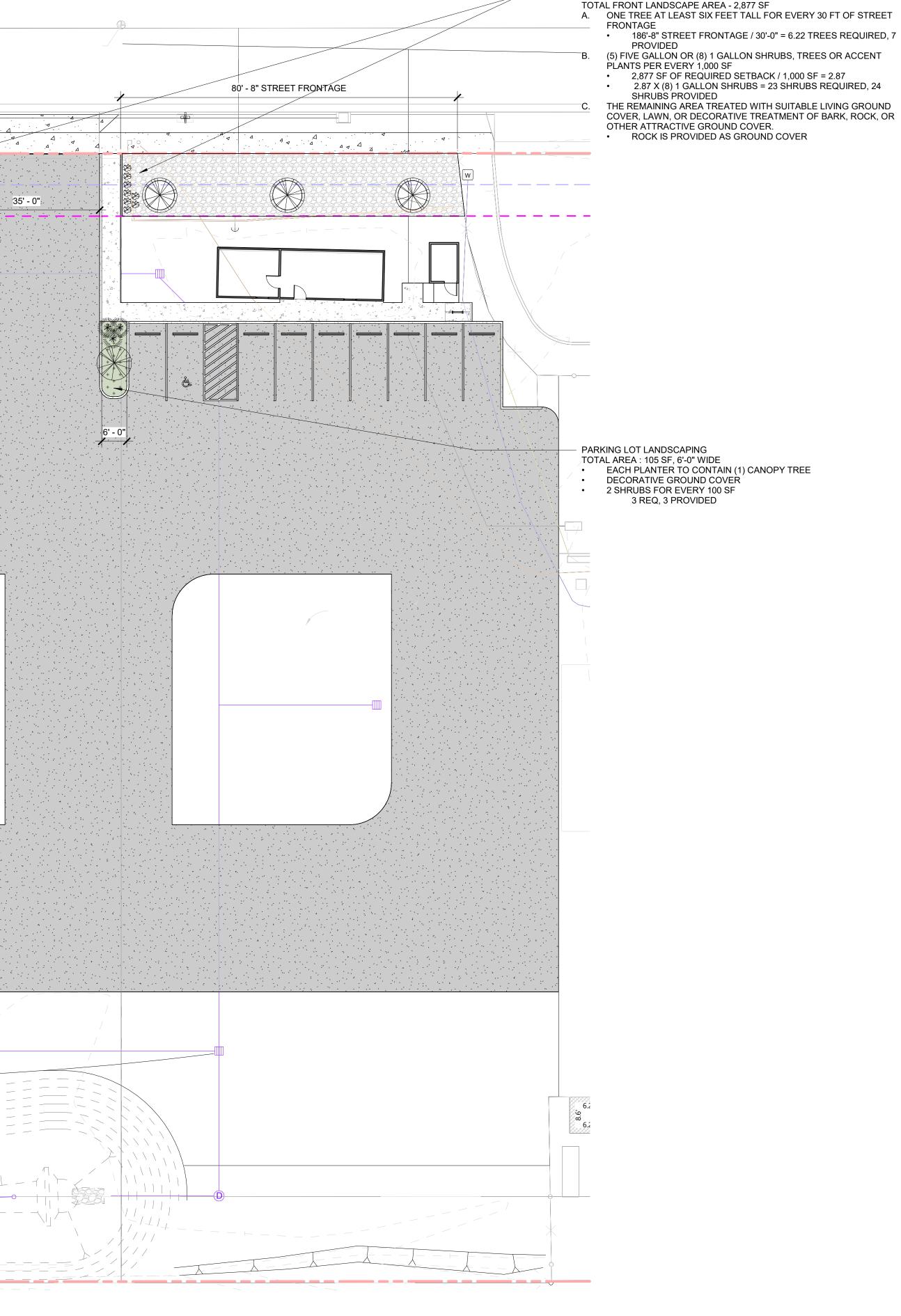
- CONTRACTOR TO VERIFY ALL PLANT QUALITIES. ADJUST PLANTINGS IN THE FIELD AS NECESSARY.
- ALL PLANTS ARE TO BE FULLY FOLIAGED, WELL BRANCHED AND TRUE TO FORM. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE OF ANY SITE CHANGES OR UNFORSEEN COND BE DETRIMENTAL TO PLANT HEALTH, OR CAUSE FUTURE PROBLEMS TO ANY STRUCTURAL ELEMENTS OF THE PROJECT. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF SPECIFIED MATERIALS OR METHODS ARE NOT CONSISTENT WITH L
- AND/OR PRACTICE.

LANDSCAPE SPECIFICATIONS

QUALITY ASSURANCE AND SITE CONDITIONS

LANDSCAPE GENERAL NOTES	LANDSCAPE PLANTING LIST	BRANCH
 CONTRACTOR TO VERIFY ALL PLANT QUALITIES. ADJUST PLANTINGS IN THE FIELD AS NECESSARY. ALL PLANTS ARE TO BE FULLY FOLIAGED, WELL BRANCHED AND TRUE TO FORM. CONTRACTOR TO NOTIFY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE OF ANY SITE CHANGES OR UNFORSEEN CONDTIONS THAT MAY BE DETRIMENTAL TO PLANT HEALTH, OR CAUSE FUTURE PROBLEMS TO ANY STRUCTURAL ELEMENTS OF THE PROJECT. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IF SPECIFIED MATERIALS OR METHODS ARE NOT CONSISTENT WITH LOCAL CLIMATE AND/OR PRACTICE. 	SYMBOL QNTY LATIN / COMMON NAME SIZE SPACING SITE TREES 9 ZELKOVA SERRATA "JFS-KW1" CITY SPRITE 1.5" CAL. AS SHOWN	PORT 6" BE
QUALITY ASSURANCE AND SITE CONDITIONS	ZELKOVA	KD FOR SUI
GENERAL : THE APPARENT OMISSION FROM THE SPECIFICATIONS AND PLANS AS TO ANY DETAIL, OR DESCRIPTION CONCERNING ANY POINT, SHALL BE REGARDED AS MEANING THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIAL AND WORKMANSHIP OF FIRST QUALITY ARE TO BE USED. LANDSCAPE CONTRACTOR MUST SITE VISIT PRIOR TO BIDDING TO VIEW EXISTING CONDITIONS	SHRUBS (WITH MIN. 10" - 12" SPREAD) 24 FESTUCA 'BLUE WHISKERS' 1 GAL. 2'-0" O.C. BLUE WHISKERS FESCUE	AS REC
PERFORMANCE QUALITY ASSURANCE : USE ADEQUATE NUMBERS OF SKILLED WORKED WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY HORTICULTURAL PRACTICES AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND METHODS NEEDED FOR THE PROPERTY PERFORMANCE OF THE WORK OF THIS SECTION.	11 CALLUNA VULGARIS "SILVER KNIGHT" 1 GAL. 4'-0" O.C. SILVER HEATHER	
NOTIFICATION : GIVE LANDSCAPE ARCHITECT MINIMUM OF 2 DAYS ADVANCE NOTICE OF TIMES FOR INSPECTION. INSPECTIONS AT GROWING SITE DOES NOT PRECLUDE LANDSCAPE ARCHITECT'S RIGHT OF REJECTION OF DEFICIENT MATERIALS AT PROJECT SITE. EACH PLANT FAILING TO MEET THE ABOVE MENTIONED "STANDARDS" OR OTHERWISE FAILING TO MEET THE SPECIFIED REQUIREMENTS AS SET FORTH SHALL BE REJECTED AND REMOVED IMMEDIATELY FROM THE PREMISES BY THE CONTRACTOR AND AT THE CONTRACTOR'S EXPENSE, AND REPLACED WITH SATISFACTORY PLANTS OR TREES CONFORMING TO THE SPECIFIED REQUIREMENTS. SUBSTITUTIONS : ONLY AS APPROVED BY THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE	GROUNDCOVER 2,877 SF ROCK	2 TO 2 1/2 X WID
GUARANTEE AND REPLACEMENT : ALL PLANT MATERIAL SHALL BE GUARANTEED FROM FINAL ACCEPTANCE FOR ONE FULL GROWING SEASON OR ONE YEAR, WHICHEVER IS LONGER. DURING THIS PERIOD THE CONTRACTOR SHALL REPLACE ANY PLANT MATERIAL THAT IS NOT IN GOOD CONDITION AND PRODUCING NEW GROWTH (EXCEPT THAT MATERIAL DAMAGED BY SEVERE WEATHER CONDITIONS, DUE TO OWNER'S NEGLIGENCE, NORMAL UNFORESEEN PECULIARITIES OF THE PLANTING SITE, OR LOST DUE TO VANDALISM). GUARANTEE TO REPLACE AT NO COST TO OWNER, UNACCEPTABLE PLANT MATERIALS WITH PLANTS OF SAME VARIETY, AGE, SIZE, AND QUALITY AS PLANT ORIGINALLY SPECIFIED. CONDITIONS OF GUARANTEE ON REPLACEMENT PLANT SHALL BE THE SAME AS FOR THE ORIGINAL PLANT. LANDSCAPE CONTRACTOR SHALL KEEP AVAILABLE ON SITE ALL RECEIPTS FOR SOIL AMENDMENT AND TOP SOIL DELIVERIES FOR OWNER'S REPRESENTATIVE.	462 SF NATIVE MEADOW MIX SEED	2 <u>GENERAL DE</u> 3/4" = 1'-0"
PROTECTION : CALL 811 DIG PRIOR TO DOING WORK A MINIMUM OF 48 HOURS BUT NO LONGER THAN 10 DAYS TO VERIFY LOCATION OF UNDERGROUND UTILITIES. PROTECT EXISTING ROADS, SIDEWALKS, AND CURBS, LANDSCAPING AND OTHER FEATURES REMAINING AT FINAL WORK. INSTALL EROSION CONTROL MEASURES TO PREVENT EROSION, RUN-OFF, OR AIRBORNE DUST DISPERSING TO ADJACENT PROPERTIES. REPAIR ANY DAMAGE TO SERVICE LINES, EXISTING FEATURES, ETC. CAUSED BY LANDSCAPING INSTALLATION TO EXISTING CONDITIONS OR BETTER.		
PLANT QUALITY ASSURANCE : DELIVER DIRECT FROM NURSERY. MAINTAIN AND PROTECT ROOTS OF PLANT MATERIAL FROM DRYING OR OTHER POSSIBLE INJURY. STORE PLANTS IN SHADE AND PROTECT THEM FROM WEATHER IMMEDIATELY UPON DELIVER, IF NOT TO BE PLANTED WITHIN FOUR HOURS. ALL PLANTS SHALL CONFORM TO APPLICABLE STANDARDS OF THE LATEST EDITION OF THE "AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS", ANSI 260.1-1973. MEET OR EXCEED THE REGULATIONS AND LAWS OF FERAL, STATE AND COUNTY REGULATIONS, REGARDING THE INSPECTION OF PLANT MATERIALS, CERTIFIED AS FREE FROM HAZARDOUS INSECTS, DISEASE, AND NOXIOUS WEEDS, AND CERTIFIED FIT FOR SALE IN WASHINGTON. NURSERY STOCK SHALL BE HEALTHY, WELL BRANCHED AND ROOTED, FORMED TRUE TO VARIETY AND SPECIFIED, FULL FOLIAGES, FREE FROM DISEASE, INJURY, DEFECTS, INSECTS, WEEDS AND WEED ROOTS. TREED SHALL HAVE STRAIGHT TRUNKS, SYMMETRICAL TIPS AND HAVE AN INTACT SINGLE LEADER. ANY TREES WITH DOUBLE LEADERS WILL BE REJECTED UPON INSPECTION. ALL PLANTS : TRUE TO NAME, WITH ONE OF EACH BUNDLE OR LOT TAGGED WITH THE SAME COMMON AND BOTANICAL NAME AND SIZE OF THE PLANTS IN ACCORDANCE WITH STANDARDS OF PRACTICE OF THE AMERICAN ASSOCIATION OF NURSERYMEN, AND SHALL CONFORM TO THE STANDARDIZED PLAN NAMES, 1942 EDITION. CONTAINER GROWN STOCK : SMALL CONTAINER GROWN PLANTS IN REMOVABLE CONTAINERS SHALL BE WELL ROOTED TO ENSURE HEALTHY GROWTH, AND GROWN IN CONTAINERS A MINIMUM OF ONE YEAR. BARE ROOT STOCK : ROOTS WELL BRANCHED AND FIBROUS. BALLED AND BURLAPPED (B&B) : BALL SHALL BE NATURAL SIZE TO ENSURE HEALTHY GROWTH. BALL SHALL BE FIRM AND THE BURLAP SOUND. NO LOOSE OR MADE BALL WILL BE ACCEPTABLE.	106' - 0" STREET FRONTAGE	
SOIL CONDITION : LANDSCAPE CONTRACTOR IS TO SUPPLY AND PLACE 12" OF TOP SOIL IN PLANTING BEDS AND 6" IN LAWN AREAS WHERE SUBGRADE IS COMPRISED OF SOIL MATERIAL. WHERE THE SUBGRADE IS GRAVEL OR CONSTRUCTION DEBRIS, THE MINIMUM TOP SOIL REQUIREMENTS IS 3'-0" FOR TREES, 2'-0" FOR SHRUBS AND 12" FOR GROUND OVER. LANDSCAPE CONTRACTOR IS TO VERIFY WITH THE GENERAL CONTRACTOR IF THE ON-SITE TOPSOIL IS CONDUCTIVE TO PROPER PLANT GROWTH. IF ON-SITE TOPSOIL IS NOT CONDUCTIVE TO PROPER PLANT GROWTH, THE LANDSCAPE CONTRACTOR SHALL IMPORT THE REQUIRED AMOUNT. LANDSCAPE CONTRACTOR TO OBTAIN A SOIL ANALYSIS TEST OF THE TOPSOIL BY A QUALIFIED SOIL TESTING LABORATORY STATING PERCENTAGES OF ORGANIC MATTER; GRADATION OF RECOMMENDED FERTILIZER APPLICATION QUANTITIES AND SOIL AMENDMENTS TO BE ADDED TO PRODUCE TOPSOIL SUITABLE FOR PLANTING.		
PLANTING PRODUCTS AND EXECUTION : MANUFACTURED OR IMPORTED TOPSOIL : SOIL PRODUCED OFF-SITE BY HOMOGENEOUSLY BLENDING MINERAL SOILS OR SAND WITH STABILIZED ORGANIC SOIL AMENDMENTS TO PRODUCE TOPSOIL. SHALL BE A SANDY LOAM, FREE OF ALL WEEDS, CHEMICALS AND DEBRIS HARMFUL TO LAWN OR	30' - 0" ENTRY WAY LANDSCAPING	
PLANT GROWTH. SOIL TO HAVE A PH RANGE OF 5.5 TO 7, A MINIMUM OF 15% TO 30% ORGANIC MATERIAL CONTENT; 30% - 60% SAND CONTENT, 20%-40% SILT CONTENT, AND A 5%-20% CLAY CONTENT; FREE OF STONES 1" OR LARGER. COMPOST : WELL DECOMPOSED, TABLE AND WEED-FREE ORGANIC MATTER. PH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35%-55% WEIGHT; 100% PASSING THROUGH 1" SIEVE. SHALL BE DERIVED FROM : AGRICULTURAL, FOOD, OR INDUSTRIAL RESIDUAL. SHALL CONTAIN NO SUBSTANCES TOXIC TO PLANTS, POSSESS NO OBJECTIONABLE ODOR, AND NOT RESEMBLE THE RAW MATERIAL FROM WHICH IS WAS DERIVED. FERTILIZER : COMMERCIAL GRADE COMPLETE FERTILIZER OF NEUTRAL CHARACTER, CONSISTING OF FAST AND SLOW-RELEASE NITROGEN, 50% DERIVED FROM NATURAL ORGANIC SOURCES. IT IS RECOMMENDED THAT MYCORRIZAL AMENDMENTS AND COMPOST TEA BE USED IN CONJUNCTION WITH COMMERCIAL FERTILIZED AND APPLIED BASED ON SOIL TEST RESULTS. DO NOT APPLY FERTILIZER TO WATER QUALITY SWALE. LIME : AGRICULTURAL LIMESTONE CONTAINING A MINIMUM OF 80% CALCIUM CARBONATE. MULCH : DARK, AGED, MEDIUM GRIND FIR OR HEMLOCK BARK.	TOTAL AREA : 356 SF, 5'-0" WIDE • EACH AREA TO CONTAIN (1) CANOPY TREE • DECORATIVE GROUND COVER • 2 SHRUBS FOR EVERY 100 SF, 8 REQ, 8 PROVIDED 5'-0" PROVIDE STEEL EDGE PROTECTION WHERE LANDSCAPE IS ADJACENT TO GRAVEL	5' - 0"
ROOT BARRIER : WHERE THREES ARE PLANTED 5'-0" OR LESS FROM PAVING OR CURBS, ROOT BARRIER SHALL BE INSTALLED AT THE EDGE OF THE HARD SURFACE. BARRIER SHALL BE A MINIMUM 10'-0" LENGTH CENTERED ON TRUNK AND 18" - 24" DEPTH. INSTALL ACCORDING TO MANUFACTURE'S INSTRUCTIONS AND FLUSH WITH THE SURROUNDING GRADE. INSTALL ROOT BARRIER AS APPROVED BY OWNER AND/PR REQUIRED BY LOCAL JURISDICTION.		
 METAL EDGING : 6" METAL EDGING SHALL BE PLACED BETWEEN DIFFERENT SURFACE MATERIALS AND AT THE EDGE OF LAWN AREAS. EDGING SHALL BE SECURED AT REGULAR INTERVALS AND AS RECOMMENDED BY MANUFACTURER WITH 12" STAKES. SEED : BLUETAG GRASS SEED CONFORMING TO APPLICABLE STATE LAWS. NO NOXIOUS WEED SEEDS. SUBMIT GUARANTEED ANALYSIS. FINE LAWN SEED MIX : TO CONTAIN 50% TOP HAT PERENNIAL RYEGRASS, 30% DERBY SUPREME RYEGRASS, 20% LONGFELLOW CHEWING FESCUE (HOBBS AND HOPKINS PRO-TIME 303 LAWN MIX OR APPROVED). SOW SEED AT 5 LBS PER 1,000 SF. PERMAMENT SEED MIX - UPLAND AREAS WITH 18 - 24 INCHES PRECIPITATION : MIX 'A' 58% SLENDER WHEATGRASS (N) OR SODAR STREAMBANK WHEATGRASS, 17% HARD FESCUE (I), 17% NATIVE CLOVER SPP. (N) OR MILKVETCH SPP. (N), AND 8% MOUNTAIN BROME (N). ARPPOX 64 SEEDS PER SF , APPLICATION RATE OF 12 LBS/ACRE 		
WEED CONTROL : ALL PLANTING AREAS SHALL BE PREPARED SO THAT THEY ARE WEED AND DEBRIS FREE AT THE TIME OF PLANTING UNTIL THE COMPLETION OF THE PROJECT. WHERE APPLICABLE, MANUAL OR MECHANICAL WEED REMOVAL IS PREFERRED. WHEN NECESSARY, HERBICIDE MAY BE USED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ONLY USE HERBICIDE SELECTED FOR SPECIES PRESENTED ONSITE. SOIL PREPARATION : WORK ALL AREAS BY ROTOTILLING TO A MINIMUM DEPTH OF 8". REMOVE ALL STONES OF 1" SIZE, STICKS, MORTAR, LARGE CLUMPS OF VEGETATION, ROOTS, OR CONSTRUCTION DEBRIS. SOIL SHALL BE HOMOGENEOUS FINE TEXTURE. LEVEL, SMOOTH, AND LIGHTLY COMPACT AREA TO PLUS OR MINUS 0.10 OF REQUIRED GRADES. IN GROUNDCOVER AREAS ADD 2" OF COMPOST AND TILL IN TO THE TOP 6" OF SOIL. FINISHED GRADE TO BE AN EVEN DISTRIBUTION OF TOPSOIL. GRADES AND SLOPES SHALL BE AS INDICATED ON PLANTS. PLANTING BED GRADES SHALL BE APPROXIMATELY 3" BELOW ADJACENT WALKS OR PAVING TO ALLOW FOR BARK APPLICATION. FINISH GRADING SHALL REMOVE ALL DEPRESSIONS OR LOW AREAS AND PROVIDE POSITIVE DRAINAGE THROUGHOUT THE AREA.		
PLANTING HOLE EXCAVATION : LAY OUT ALL PLANT LOCATIONS ND EXCAVATE SOIL FROM PLANTING HOLES 2 1/2 TIMES THE ROOT BALL OR ROOT SYSTEM WIDTH. LOOSED SOIL INSIDE BOTTOM OF PLANT HOLE AND SCARIFY SIDES IF NEEDED. DISPOSE OF ANY "SUBSOIL" OR DEBRIS FROM EXCAVATION. CHECK DRAINAGE OF PLANTING HOLE WITH WATER, AND ADJUST ANY AREA SHOWING DRAINAGE PROBLEMS. EXCAVATION USING MECHANICAL AUGERS IS NOT ACCEPTABLE. PREPARE SOIL MIX BACKFILL BY MIXING : 2 PART TOP SOIL, 1 PART COMPOST		· · · · · · · · · · · · · · · · · · ·
FERTILIZER IS TO BE THOROUGHLY MIXED IN PLANTING HOLE AT RATE ACCORDING TO PLANT TYPE AND SIZE. FERTILIZER QUANTITY HALL BE APPLIED BASED ON RECOMMENDATION FROM SOIL TEST RESULTS. STRICTLY FOLLOW FERTILIZER PRODUCT APPLICATION DIRECTIONS.		
PLANTING TREES AND SHRUBS : PLANT UPRITE AND FACE TO GIVE BEST APPEARANCE OR RELATIONSHIP TO ADJACENT PLANTS AND STRUCTURES. PLACE 6" MINIMUM, LIGHTLY COMPACTED LAYER OF PREPARED PLANTING SOIL UNDER ROOT SYSTEM. LOOSED AND REMOVE TWINE BINDING AND BURLAP FROM TOP 1/2 OF ROOT BALLS. CUT OFF CLEANLY ALL BROKEN OR FRAYED ROOTS, AND SPREAD ROOTS OUT. STAGGER PLANTS IN ROWS. BACKFILL PLANTING HOLE WITH SOIL MIX WHILE WORKING EACH LATER TO ELIMINATE VOIDS. WHEN APPROXIMATELY 2/3 FULL, WATER THOROUGHLY, THEN ALLOW WATER TO SOAK AWAY. PLACE REMAINING BACKFILL AND DISH SURFACE AROUND PLANT TO HOLD WATER. FINAL GRADE SHOULD BE KEEP ROOT BALL SLIGHTLY ABOVE SURROUNDING GRADE, NOT TO EXCEED 1". WATER AGAIN UNTIL NO MORE WATER IS ABSORBED. INITIAL WATER BY IRRIGATION SYSTEM IS NOT ALLOWED.		
STAKING OF TREES : STAKE OR GUY ALL TREES. STAKE SHALL BE 2" X 2" (NOM.) QUALITY TREE STAKES WITH POINT. THEY SHALL BE OF DOUGLAS FIR, CLEAR AND STURDY. STAKE TO BE MINIMUM 2/3 THE HEIGHT OF THE TREE, NOT TO EXCEED 8'-0", DRIVE STAKE FIRMLY 1'-6" BELOW THE PLANTING HOLE. TREE TIES FOR DECIDUOUS TREES SHALL BE "CHAINLOCK" OR BETTER. STAKING AND GUYING SHALL BE LOOSE ENOUGH TO ALLOW MOVEMENT OF TREE WHILE HOLDING TREE UPRIGHT. TREE STAKES SHALL BE REMOVED AFTER 1 YEAR.		
MULCHING OF PLANTINGS : PRIOR TO MULCH INSTALLATION, APPLY GRANULATED PRE-EMERGENT HERBICIDE TO ALL PLANTING AREAS ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MULCH ALL PLANTING AREA WITH DARK, AGED, MEDIUM GRIND FIR OR HEMLOCK BARK (AGES AT LEAST 6 MONTHS) TO A DEPTH OF 2" IN GROUND COVER AREAS AND 1 1/2" IN SHRUB BEDS. APPLY EVENLY, NOT HIGHER THAN THE GRADE OF THE PLANT AS IT CAME FROM THE NURSERY. RAKE TO A SMOOTH FINISH. WATER THOROUGHLY, THEN HOSE DOWN PLANTING AREA WITH A FINE SPRAY TO WASH LEAVES OF PLANTS.		
SEEDING : IN FINE LAWN AREA APPLY COMMERCIAL FERTILIZER MIX "B" AT 4.5 LBS PER 1,000 SF AND RAKE INTO SOIL SURFACE. ESTABLISH AN EVEN, FINE TEXTURED SEEDBED MEETING GRADES, SURFACES AND TEXTURE. SOW SEED WITH A MECHANICAL SPREAD AT THE UNIFORM RATE NOTED ABOVE. RAKE SEED LIGHTLY TO PROVIDE COVER. INSTALL EDGING AT LAWN BOUNDARY ACCORDING TO MANUFACTURE'S INSTRUCTIONS. IN ROUGH SEEDED AREA, ESTABLISH AN EVENLY GRADED SEEDBED. SOW SEED WITH A MECHANICAL SPREADER AS NOTED. RAKE SEED LIGHTLY TO PROVIDE COVER. WATER CONSISTENTLY TO MAINTAIN SOIL MOISTURE FOR SEED GERMINATION.		
IRRIGATION : PROJECT IS TO BE IRRIGATED BY AN AUTOMATIC, UNDERGROUND SYSTEM WHICH WILL PROVIDE FULL COVERAGE FOR ALL PLANT MATERIAL. SYSTEM IS TO BE DESIGNED/BUILD BY LANDSCAPE CONTRACTOR. GUARANTEE SYSTEM FOR MINIMUM ONE YEAR. SHOW DRIP SYSTEM AS ALTERNATE BID ONLY. MAINTENANCE : PROTECT AND MAINTAIN WORK DESCRIBED IN THE SPECIFICATIONS AGAINST ALL DEFECTS OF MATERIALS AND WORKMANSHIP, THROUGH FINAL ACCEPTANCE. REPLACE PLANTS NOT IN NORMAL HEALTHY CONDITION AT THE END OF THIS PERIOD. WATER, WEED, CULTIVATE, MULCH, RESET PLANTS TO PROPER GRADE OR UPRIGHT POSITION, REMOVE DEAD WOOD AND DO NECESSARY STANDARD MAINTENANCE		
OPERATIONS. IRRIGATE WHEN NECESSARY TO AVOID DRYING OUT PLANT MATERIALS, AND TO PROMOTE HEALTHY GROWTH. LAWN AREAS SHALL BE MAINTAINED BY WATERING, MOVING, RESEEDING AND WEEDED FOR A MINIMUM OF 60 DAYS AFTER SEEDING. AFTER 30 DAYS, OR AFTER THE SECOND MOWING, APPLY COMMERCIAL FERTILIZER MIX C AT 5 LBS PER 1,000 SF. MOW AND KEEP AT 1 1/2" TO 2" IN HEIGHT. REMOVE CLIPPINGS AND DISPOSE OF OFF SITE.		
CLEAN-UP : AT COMPLETION OF EACH DIVISION OF WORK, ALL EXTRA MATERIAL, SUPPLIES, EQUIPMENT, ETC SHALL BE REMOVED FROM THE SITE. ALL WALKS, PAVING AND OTHER SURFACES SHALL BE SWEPT, CLEAN AND MULCH AREA SHALL HAVE DEBRIS REMOVED AND ANY SOIL CLEARED FROM SURFACE. ALL AREAS OF THE PROJECT TO BE KEPT CLEAN, ORDERLY AND COMPLETE.		







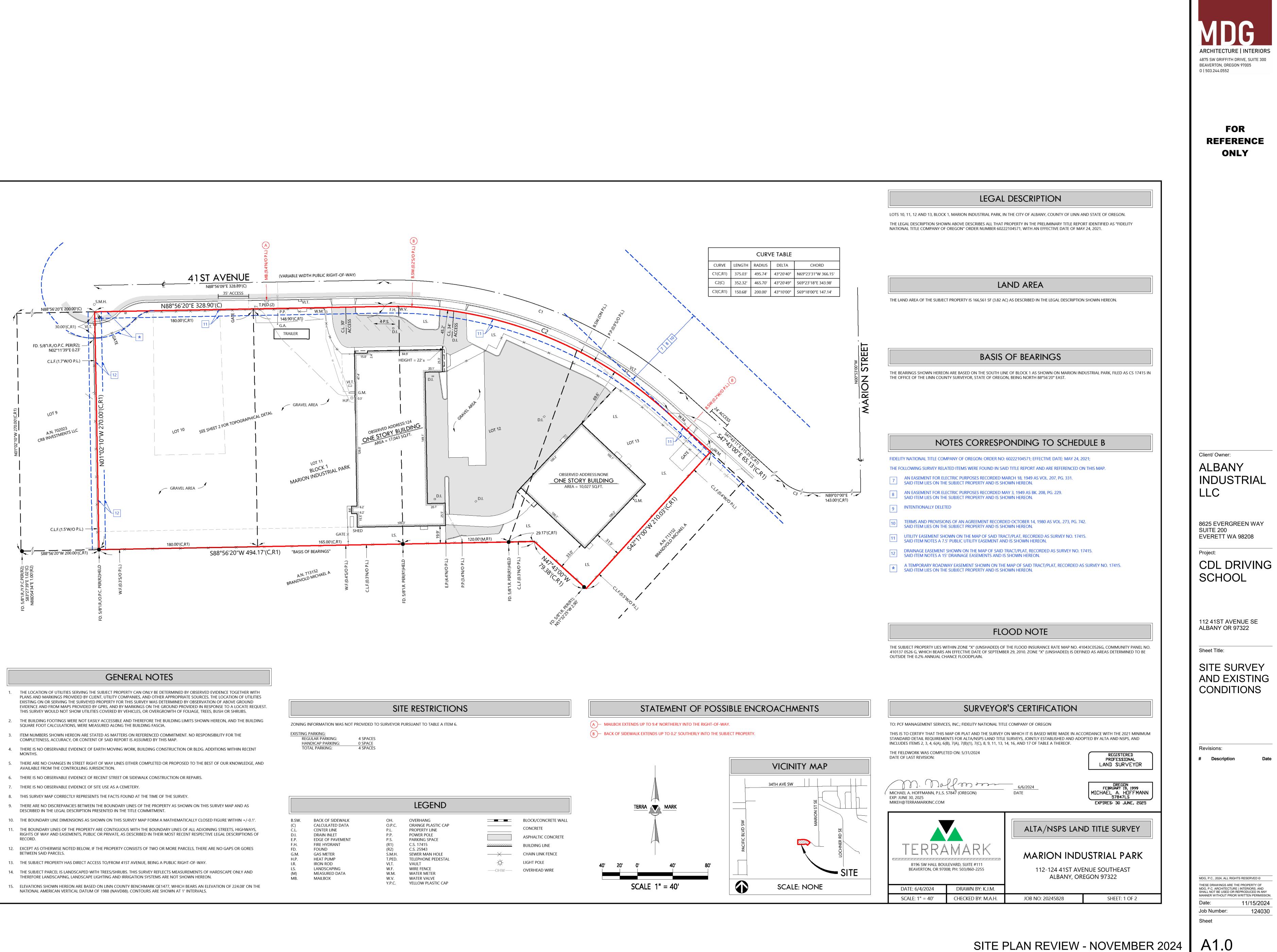


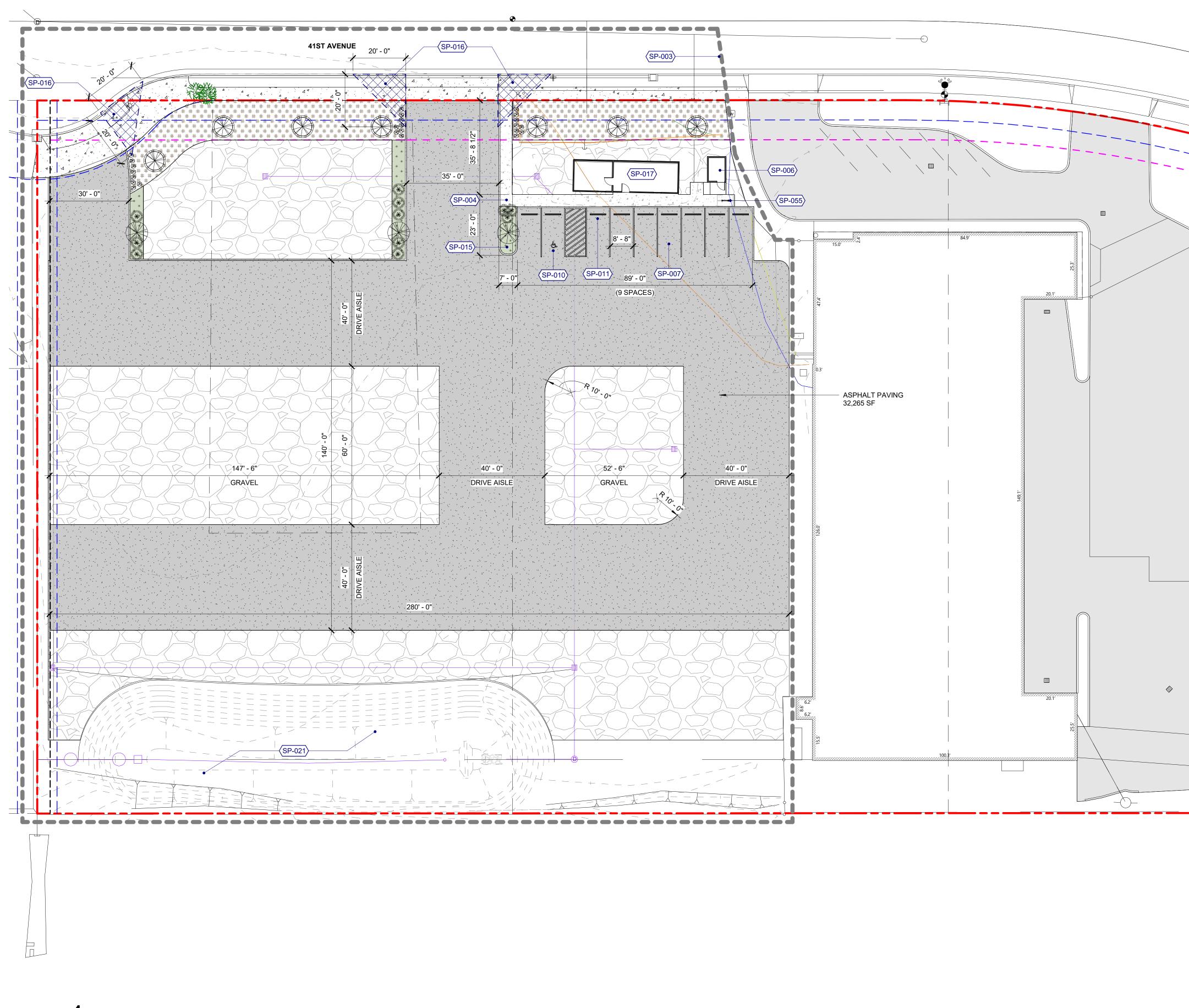
4875 SW GRIFFITH DRIVE, SUITE 300

BEAVERTON, OREGON 97005

0 | 503.244.0552

TOTAL STREET FRONTAGE : 106'-0" + 80'-8" = 186'-8"





GENERAL NOTES - SITE PLAN

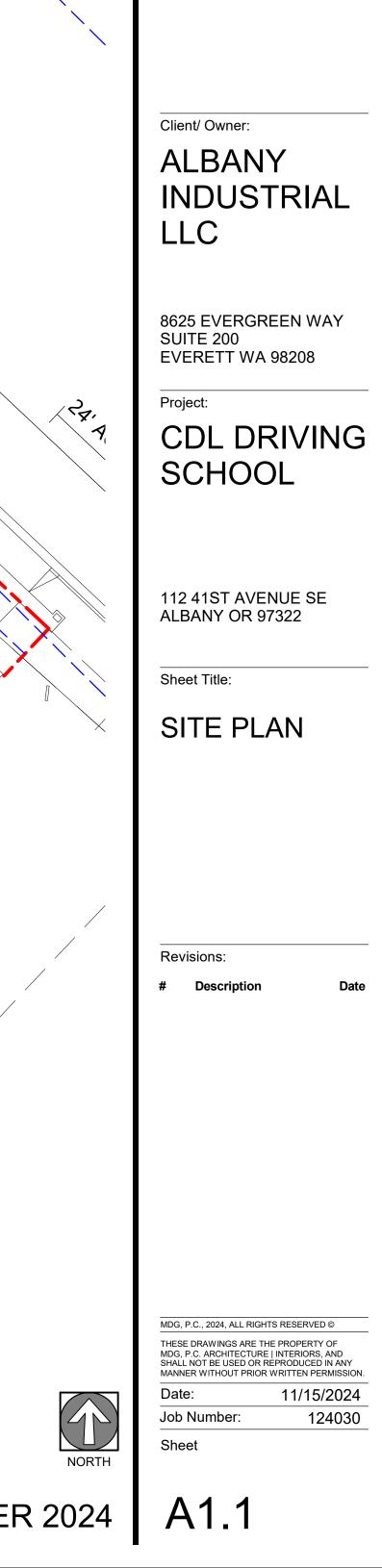
<u>ELECTRIC VEHICLE CHARGING STATION INFRASTRUCTURE</u> SHALL BE PROVIDED IN ACCORDANCE WITH DIVISION 460 STRUCTURAL AND ENERGY EFFICIENCY 1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION, CONFLICTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR SPECIALTY CODES SECTION 918-460-0200 SUMMARIZED GENERALLY AS FOLLOWS. CONTRACTOR TO TO THE START OF CONSTRUCTION RELATED TO SUCH. CONTRACTORS SHALL VERIFY LOCATIONS OF EXISTING UTILITIES, CONTRACTOR RESPONSIBLE VERIFY REQUIREMENTS AND COMPLY WITH MOST CURRENT REQUIREMENTS. FOR DAMAGE TO OR DISTURBANCE OF EXISTING UTILITIES. 2A – NO LESS THAN 20%, ROUNDED UP TO THE NEAREST WHOLE NUMBER, OF THE SPACES IN THE 3. COORDINATE AND INSTALL FOUNDATION DRAINAGE IN ACCORDANCE WITH OWNER'S GARAGE OR PARKING AREA FOR THE BUILDING; OR 2B – IF LOCAL JURISDICTION REQUIRES MORE THAN THE QUANTITY NOTED IN ITEM 2A ABOVE, GEOTECHNICAL REPORT REQUIREMENTS. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL PUBLIC RIGHT-OF-WAY IMPROVEMENTS. SHALL BE IN ACCORDANCE WITH THE LOCAL JURISDICTION'S REQUIREMENTS. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR UNOBSTRUCTED ACCESS TO ANY 3A – PROVISION OF BUILDING ELECTRICAL SERVICE, SIZED FOR THE ANTICIPATED LOAD OF WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, ELECTRIC VEHICLE CHARGING STATIONS (EVCS'), THAT HAS OVERCURRENT DEVICES NECESSARY FOR EVCS' OR HAS ADEQUATE SPACE TO ADD OVERCURRENT DEVICES; VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR THE LOCATION OF THE HOOK-UP. 6. THE CONSTRUCTION SHALL NOT BE WITHIN 10' OF ANY POWER LINES - WHETHER OR NOT THE 3B – A DESIGNATED SPACE WITHIN A BUILDING TO ADD ELECTRICAL SERVICE WITH CAPACITY FOR POWER LINES ARE LOCATED ON THE PROPERTY. EVCS'; OR 3C – A DESIGNATED LOCATION ON BUILDING PROPERTY, IN OR ADJACENT TO A LANDSCAPED 7. DELEGATED DESIGN NFPA 13 FIRE SPRINKLER SYSTEM DESIGNED IN ACCORDANCE WITH OSSC AREA, FOR INSTALLING REMOTE SERVICE FOR EVCS'. 903.3.1.1 WILL BE A DEFERRED SUBMITTAL. 4 – A CONDUIT SYSTEM INSTALLED FROM THE BUILDING ELECTRICAL SERVICE, OR FROM THE SITE AREA: 166,834 SF = 3.83 ACRES DEDICATED SPACE OR LOCATION FOR A FUTURE ELECTRICAL SERVICE AS DESCRIBED IN SUBSECTION 3B OR 3C TO PARKING SPACES THAT CAN SUPPORT, AT A MINIMUM, ELECTRICAL SITE AREA WITHIN SCOPE OF WORK : 75,910 SF = 1.74 ACRES WIRING FOR INSTALLATION OF LEVEL 2 EVCS'. BOTH ENDS OF THE CONDUIT MUST BE LABELED TO BUILDING AREA: 590 SF SHOW THAT THE CONDUIT IS PROVIDED FOR FUTURE EVCS'. 5 – THE INSTALLATION OF A LEVEL 2 OR BETTER EVCS AT A PARKING SPACE SATISFIES THE PARKING/ PAVING AREA: 32,265 SF INFRASTRUCTURE REQUIREMENTS OF THIS RULE FOR THAT PARKING SPACE. LOT COVERAGE/ IMPERV AREA: 590 SF + 32,265 SF = 32,855 SF 32,855 SF / 75,910 SF = 43.2 % 6 – ALL ELECTRICAL INSTALLATIONS MUST COMPLY WITH THE PROVISIONS OF THE OREGON ELECTRICAL SPECIALTY CODE. REQUIRED LANDSCAPING: REQUIRED FRONT SETBACK PROPOSED PARKING = 9 STALLS 10% OF PARKING AREA TOTAL PARKING = 9 STALLS X 20% = 1.8 => 1.8 EVCS STALLS REQUIRED < 2 PROPOSED, OKAY SEE LANDSCAPE PLAN FOR COMPLIANCE VEHICLE PARKING: 9 PARKING SPACES PROVDED PER OSSC TABLE 1106.1, (1) ACCESSIBLE SPACES INCLUDING (1) VAN SPACE REQ'D BICYCLE PARKING: EDUCATION 2 >/=2, OKAY

KEYNOTES

SP-003	LIMITS OF WORK
SP-004	CURB AND SIDEWALK, 6"H
SP-006	PRE-MANUFACTURED UNISEX ACCESSIBLE RESTROOM AND ACCESSIBLE RAMP.
SP-007	PARKING STALL, 9'-0" W X 18'-6" L, TYP
SP-010	VAN ACCESSIBLE PARKING SPACE, AISLE, SIGNAGE AND RAMP
SP-011	CARPOOL/VANPOOL PARKING SPACE. SPACE TO BE CLEARLY MARKED 'RESERVED CARPOOL/VANPOOL ONLY' PER ADC 9.035.
SP-015	LANDSCAPE ISLAND
SP-016	VISION CLEARANCE PER ADC 12.180
SP-017	STORAGE TRAILER
SP-021	ONSITE STORM FACILITY PER CIVIL
SP-055	BIKE PARKING, (2) QTY

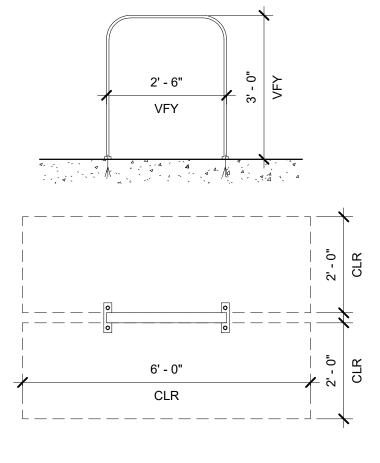
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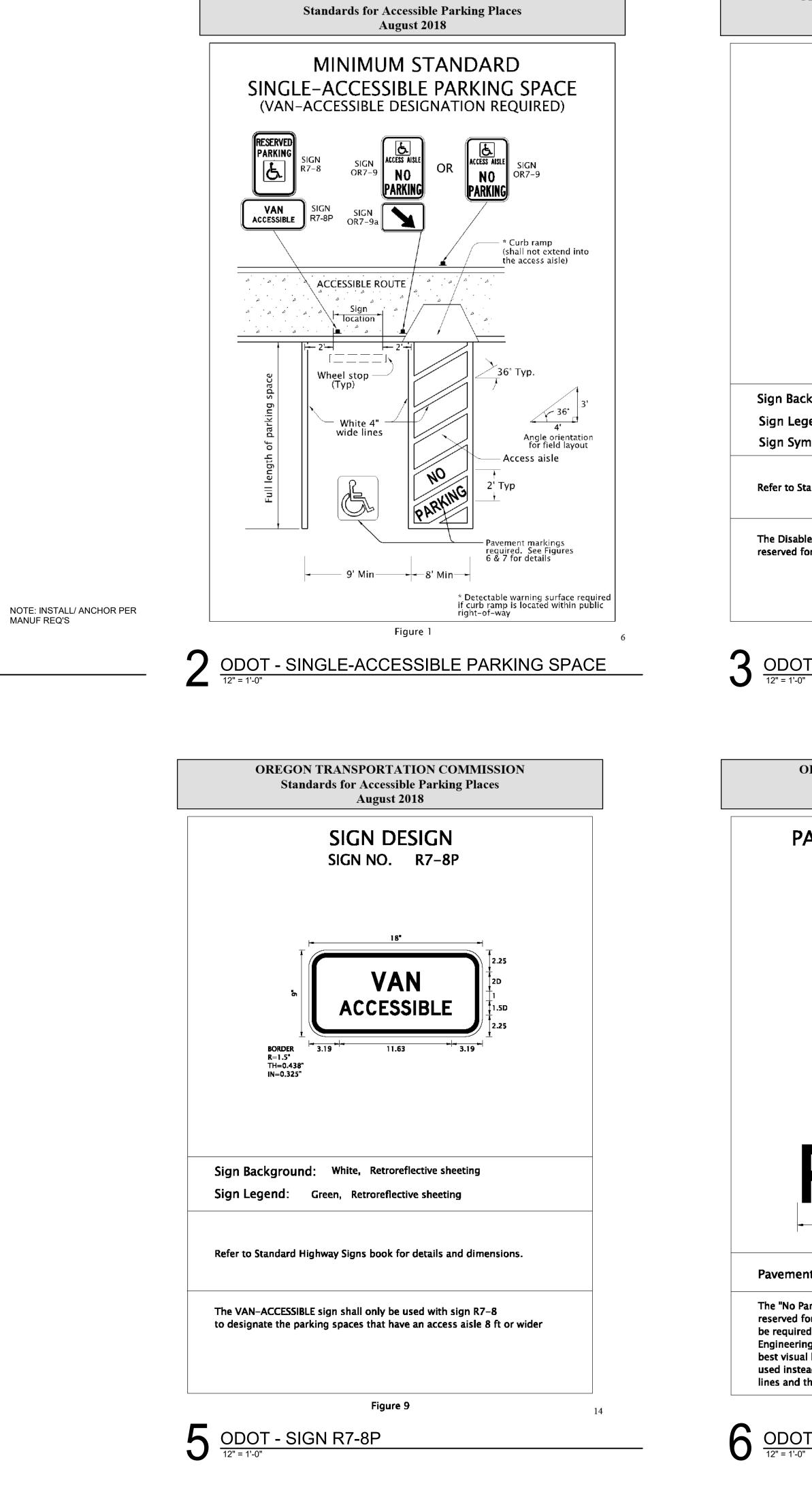
•••••	AREA OF WORK
0	PARKING COUNT SUBTOTAL
-	SLOPE DOWN, UNO
* $*$ $*$ $*$ $*$ $*$ $*$ $*$ $*$ $*$	LANDSCAPE
4 4 · · · · · · · · · · · · · · · · · ·	CONCRETE FLATWORK





BIKE RACK





OREGON TRANSPORTATION COMMISSION

OREGON TRANSPORTATION COMMISSION Standards for Accessible Parking Places August 2018	OREGON TRANSPORTATION COMMISSION Standards for Accessible Parking Places August 2018
SIGN DESIGN SIGN NO. R7-8	SIGN DESIGN
	SIGN NO. OR7-9
BORDER R=1.5° TH=0.375°	$\frac{12^{n}}{13} + \frac{12^{n}}{13} + \frac{12^{n}}{13$
ckground: White, Retroreflective sheeting	Sign Background: White, Retroreflective sheeting
gend: Green, Retroreflective sheeting mbol: White on Blue, Retroreflective sheeting	Sign Legend: Red, Retroreflective sheeting Sign Symbol: White on Blue, Retroreflective sheeting
tandard Highway Signs book for details.	Sign OR7-9a: Use when back of walk directly behind access aisle is not available for sign placement and sign must be placed to one side of pedestrian access ramp.
oled Person parking sign is used to designate a parking area For vehicles with DMV permit as stated.	The No Parking in Access Aisle sign is used to designate an access aisle reserved for persons use parking with DMV permit. Install sign in locations where "No Parking" pavement marking may not be visible regularly from snow or sand. Place sign to have direct view from end of access aisle when possible outside of accessible route.
Figure 8	Figure 11
T - SIGN R7-8	ODOT - SIGN OR7-9
OREGON TRANSPORTATION COMMISSION Standards for Accessible Parking Places August 2018	OREGON TRANSPORTATION COMMISSION Standards for Accessible Parking Places August 2018
AVEMENT MARKING LEGEND	PAVEMENT MARKING STENCIL
PARKING NO PARKING NO PARKING PARVING PARVING PARVING PARVING PARVING PARVING PARVING PARVING PARVING PARVING	Background C (stroke width) A A B
PARKING	Pavement Marking Background: Optional: Blue, Retroreflective Pavement Marking Stencil: White, Retroreflective
	LEGEND DIMENSIONS (INCHES) A B C D E F G
nt Marking Legend: White or Yellow, Retroreflective	MINIMUM 28 24 3 STANDARD 41 36 4
Parking" pavement marking is used to designate an access aisle for persons use parking with a DMV permit. This marking shall ed for all access aisles next to accessible parking spaces. ng judgement should be used for placement location to give al location to prevent illegal use of access aisle. Yellow may be ead of white to increase contrast between access aisle white the "No Parking" legend.	The pavement marking stencil shall be used to designate an accessible parking area reserved for vehicles with DMV permits.
Figure 7 12	Figure 6
T - MARKING LEGEND	ODOT - MARKING STENCIL

