



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

Notice of Filing

Site Plan Review for Modification of Existing Development

SP-26-24

October 24, 2024

The Planning Division has received the following APPLICATION. Please provide any comments you may have on this project to **Liz Olmstead** at 541-917-7640 or liz.olmstead@albanyoregon.gov. The deadline for submission of written comments is 5:00 p.m. on **November 7, 2024**.

Application Information

| | |
|--------------------|---|
| Proposal: | Reconstruct a portion of a parking area. |
| Review Body: | Staff (Type I-L review) |
| Property Owner: | Elijah List Ministries; 525 2nd Avenue SW, Suite 629, Albany, OR 97321 |
| Applicant: | JDR General Contracting, LLC; PO Box 577, Albany, OR 97321 |
| Address/Location: | 2110 Santiam Hwy SE, Albany, OR 97322 |
| Map/Tax Lot: | Linn County Assessor: 11S-03W-08BA Tax Lots 7200, 7300, and 7400 and 11S-03W-08BD Tax Lot 100 |
| Zoning: | Community Commercial (CC) and RC (Regional Commercial) |
| Overlay Districts: | Airport Approach Overlay |
| Total Land Area: | 3.94 acres |
| Existing Land Use: | Religious Facility and Commercial Use |

The City of Albany has received the application for a Site Plan Review as referenced above. We are mailing notice of the application to property owners within 300 feet of the proposed development. We invite your written comments on this application to be considered when staff decides on this application. Your comments must relate to the approval standards listed below. Issues that may provide the basis for an appeal to the Planning Commission must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is 5:00 p.m. on **November 7, 2024**, 14 days from the date the City mails the notice of filing.

We have attached a location map, site plan, and elevation drawings. All application materials are available for review in person at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please call **Liz Olmstead**, project planner, at 541-917-7640. Submit any written comments to the Planning Division; PO Box 490, Albany, OR 97321 or by email to liz.olmstead@albanyoregon.gov. Any person submitting written comments will receive a copy of the notice of decision on the application.

According to the Albany Development Code (ADC or Code), the proposed use is allowed on this property. This review is limited to the layout of the proposed use in accordance with the review criteria contained in ADC Section 2.450. The use must also meet applicable City development standards found in the Code.

These standards address such features as off-street parking, landscaping, setbacks, overlay districts, outside storage, and lighting.

The City may attach conditions of approval to the application to ensure that the proposal will conform to the applicable review criteria (ADC 2.450).

Approval Standards for This Request

Site Plan Review Criteria

Section 2.450 of the ADC includes the following review criteria that must be met for this application to be approved.

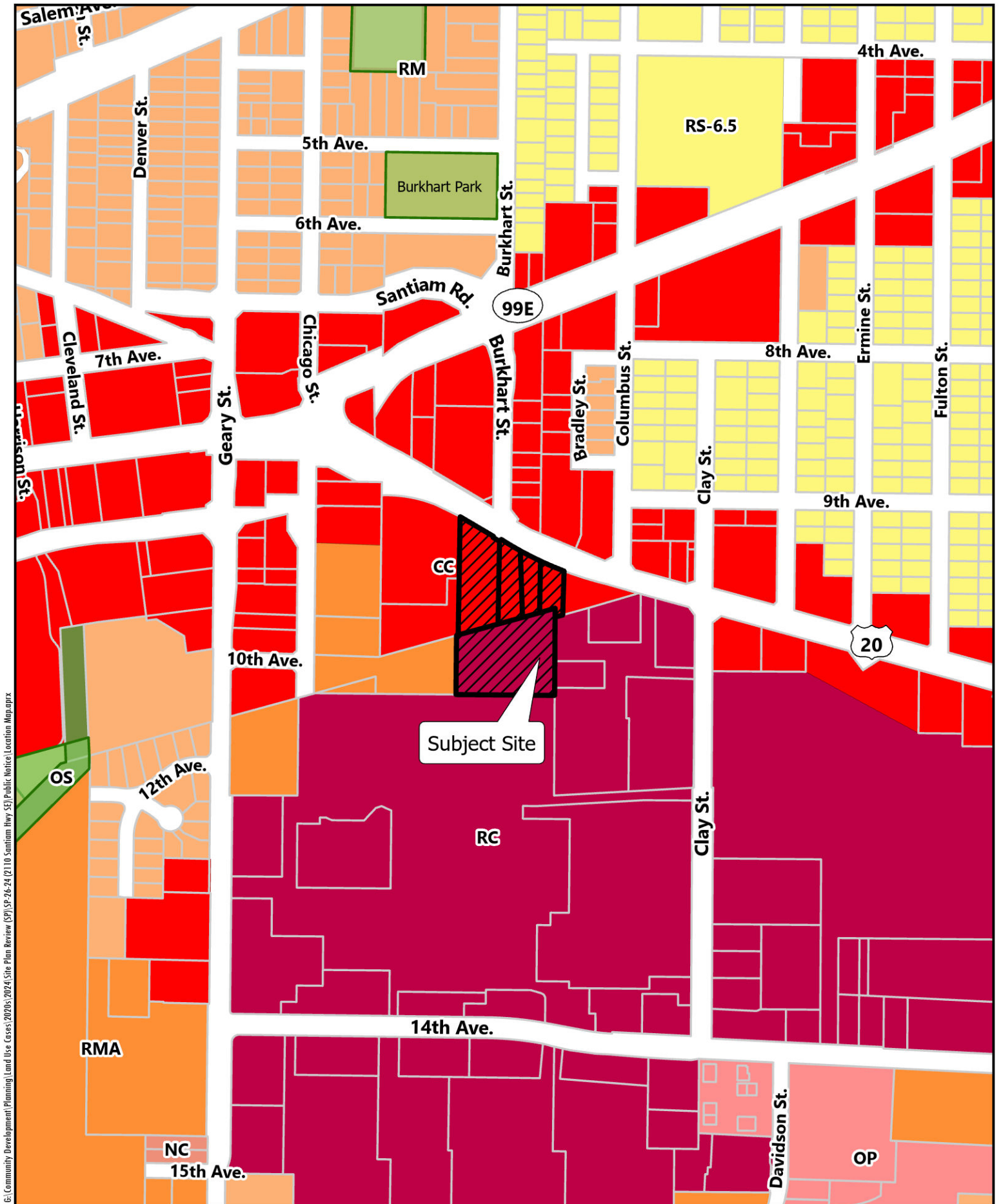
- (1) The application is complete in accordance with the applicable requirements.
- (2) The application complies with all applicable provisions of the underlying zoning district including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards.
- (3) Activities and developments within special purpose districts comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- (4) The application complies with all applicable Design Standards of Article 8.
- (5) The application complies with all applicable Design Standards of Article 10.
- (6) The application complies with all applicable On-Site Development and Environmental Standards of Article 9.
- (7) The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.
- (8) The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be available at the time of development.
- (9) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- (10) The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.
- (11) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

Section 2.455 of the Albany Development Code (ADC or Code) includes the following review criteria that must be met for this Site plan Review application to be approved.

- (1) The transportation system can safely and adequately accommodate the proposed development.
- (2) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
- (3) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.

Additional review standards for this Land Use Review application are found in ADC Articles 1, 2, 4, 9, & 12.

Attachments: Location Map, Site Plan



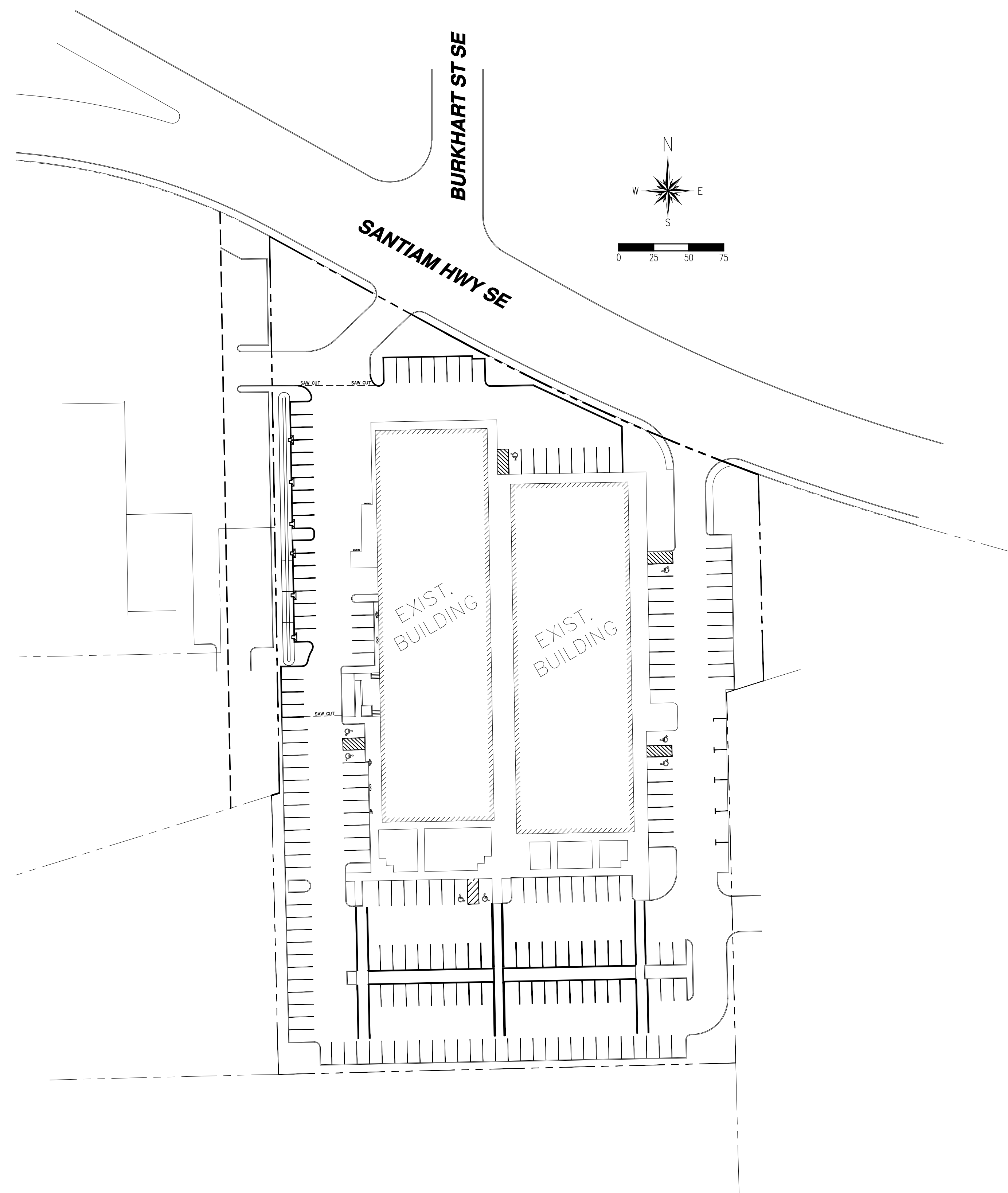
G:\Community Development\Planning Land Use Cases\2020's\2024\Site Plan Review (SP)\SP-26-24 (2110 Santiam Hwy SE)\Public Notice Location Map.aprx



Date: 10/21/2024 Map Source:

2110 Santiam Hwy SE

Location Map



OWNER

ELIJAH LIST MINISTRIES, INC.
 525 2ND AVENUE SW, SUITE 629
 ALBANY, OR 97321

PROPERTY

TAX MAP: 11S03W08BBA
 TAX LOT: 7200, 7300, & 7400
 ADDRESS: 2120 SANTIAM HWY SE
 ALBANY, OREGON

CONTRACTOR

JDR GENERAL CONTRACTING, LLC
 PO BOX 577
 ALBANY, OR 97321
 541-619-1287

SHEET INDEX

- C1 - COVER
- C2 - SITE PLAN
- C3 - GRADING PLAN
- C4 - PROFILE
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- C6 - CALCULATIONS & SUMMARY

LEGEND

- WATER METER
- BACK FLOW PREVENTER
- STORM DRAIN
- MANHOLE
- CATCH BASIN
- INVERT ELEVATION
- FOUND
- IRON ROD
- ELECTRIC VEHICLE CHARGING STATION
- EXIST. STORM PIPE
- NEW STORM PIPE
- PROPERTY BOUNDARY
- EASEMENT LINE
- SAW CUT LINE
- APPLY SEAL COAT
- NEW ASPHALT PER SECTION

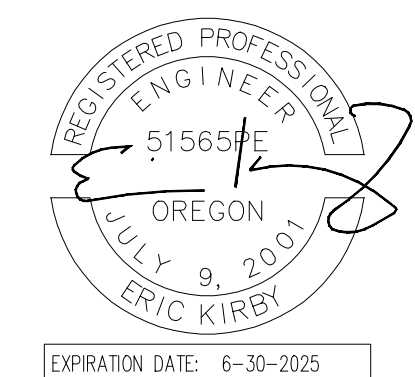
NOTES

1. ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH CITY OF ALBANY'S STANDARD CONSTRUCTION SPECIFICATIONS.
2. ELEVATIONS ARE FROM AN ASSUMED DATUM.
3. ALL ASPHALT AND CONCRETE SURFACE GRADES ARE TO MATCH EXISTING GRADES.
4. PROVIDE PROTECTION FROM ALL VEHICLE TRAFFIC, EQUIPMENT STAGING, AND FOOT TRAFFIC IN STORMWATER FACILITY AREA PRIOR TO, DURING, AND AFTER CONSTRUCTION.
5. ALL PLUMBING SHALL CONFORM TO THE OREGON PLUMBING SPECIALTY CODE.
6. IT IS CONTRACTORS RESPONSIBILITY TO OBTAIN ALL REQUIRED PERMITS FROM CITY OF ALBANY.
7. INSTALL CITY APPROVED MARKER POST AT ALL CLEAN OUTS.
8. ALL MATERIALS SHALL BE CONSISTENT WITH CITY OF ALBANY STANDARD CONSTRUCTION SPECIFICATIONS.

ELECTRIC VEHICLE CHARGING

TOTAL PARKING = 44 SPACES
 ELECTRIC VEHICLE CHARGING = 20% MIN.
 20% (40 SPACES) = 9 CHARGING SPACES

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503) 232-1987).

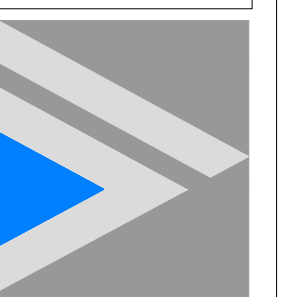


| REVISION TABLE | |
|----------------|--|
| NO. | DESCRIPTION |
| 01 | DATE: 8/17/2024 BY: E. KIRBY CITY OF ALBANY COMMENTS |
| 02 | DATE: 9/3/2024 BY: E. KIRBY ADD DWARF MAGNOLIA TREES |
| 03 | DATE: 9/25/2024 BY: E. KIRBY EV CHARGING STATIONS |
| 04 | DATE: 10/9/2024 BY: E. KIRBY ON SITE SWALE |

COVER

**PARKING LOT IMPROVEMENTS
 ELIJAH LIST MINISTRIES, INC.
 2112 SANTIAM HIGHWAY SE
 ALBANY, OREGON**

**DRAWINGS PROVIDED BY:
 TVP ENGINEERING
 260 FERRY ST SW STE. 101
 ALBANY, OR 97321
 OFFICE@TVP.ENGINEERING.COM
 541-791-7118**



DATE:
08/16/2024

SCALE:
N.T.S.

JOB NO.
24-06-052

DRAWN BY:
ECK

SHEET:
C1