



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | BUILDING & PLANNING 541-917-7550

Notice of Filing

Site Plan Review

SP-21-23

December 5, 2023

The Planning Division has received the following APPLICATION. Please provide any comments you may have on this project to **Liz Olmstead** at 541-917-7640 or liz.olmstead@cityofalbany.gov. The deadline for submission of written comments is 5:00 p.m. on **December 19, 2023**.

Application Information

Proposal:	To construct commercial accessory structures and associated paving to an existing development site.
Review Body:	Staff (Type I-L review)
Property Owner:	NW Natural Gas Co.; 250 SW Taylor Street, Portland, OR 97204
Applicant:	Mary Fierros-Bower; LRS Architects, 720 NW Davis Street, Suite 300, Portland, OR 97209
Address/Location:	7150 Supra Drive SW, Albany, OR 97321
Map/Tax Lot:	Linn County Tax Assessor's Map No. 11S-04W-25 Tax Lot 1302
Zoning:	Industrial Park (IP)
Overlay Districts:	Local Wetlands
Total Land Area:	5 acres
Existing Land Use:	NW Natural Offices

The City of Albany has received the application for Site Plan Review as referenced above. We are mailing notice of the application to property owners within 300 feet of the proposed development. We invite your written comments on this application to be considered when staff decides on this application. Your comments must relate to the approval standards listed below. Issues that may provide the basis for an appeal to the Planning Commission must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is 5:00 p.m. on **December 19, 2023**, 14 days from the date the City mails the notice of filing.

Attached you will find a location map, site plan, and elevation drawings. All application materials are available for review in person at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please call **Liz Olmstead**, project planner, at 541-917-7640. Submit any written comments to the Planning Division; PO Box 490, Albany, OR 97321 or by email to liz.olmstead@albanyoregon.gov. Any person submitting written comments will receive a copy of the notice of decision on the application.

According to the Albany Development Code (ADC or Code), the proposed use is allowed on this property. This review is limited to the layout of the proposed use in accordance with the review criteria contained in ADC Section 2.450. The use must also meet applicable City development standards found in the Code.

These standards address such features as off-street parking, landscaping, setbacks, overlay districts, outside storage, and lighting.

The City may attach conditions of approval to the application to ensure that the proposal will conform to the applicable review criteria (ADC 2.450 and 2.455).

Approval Standards for This Request

Site Plan Review Criteria

Section 2.450 of the ADC includes the following review criteria that must be met for this application to be approved.

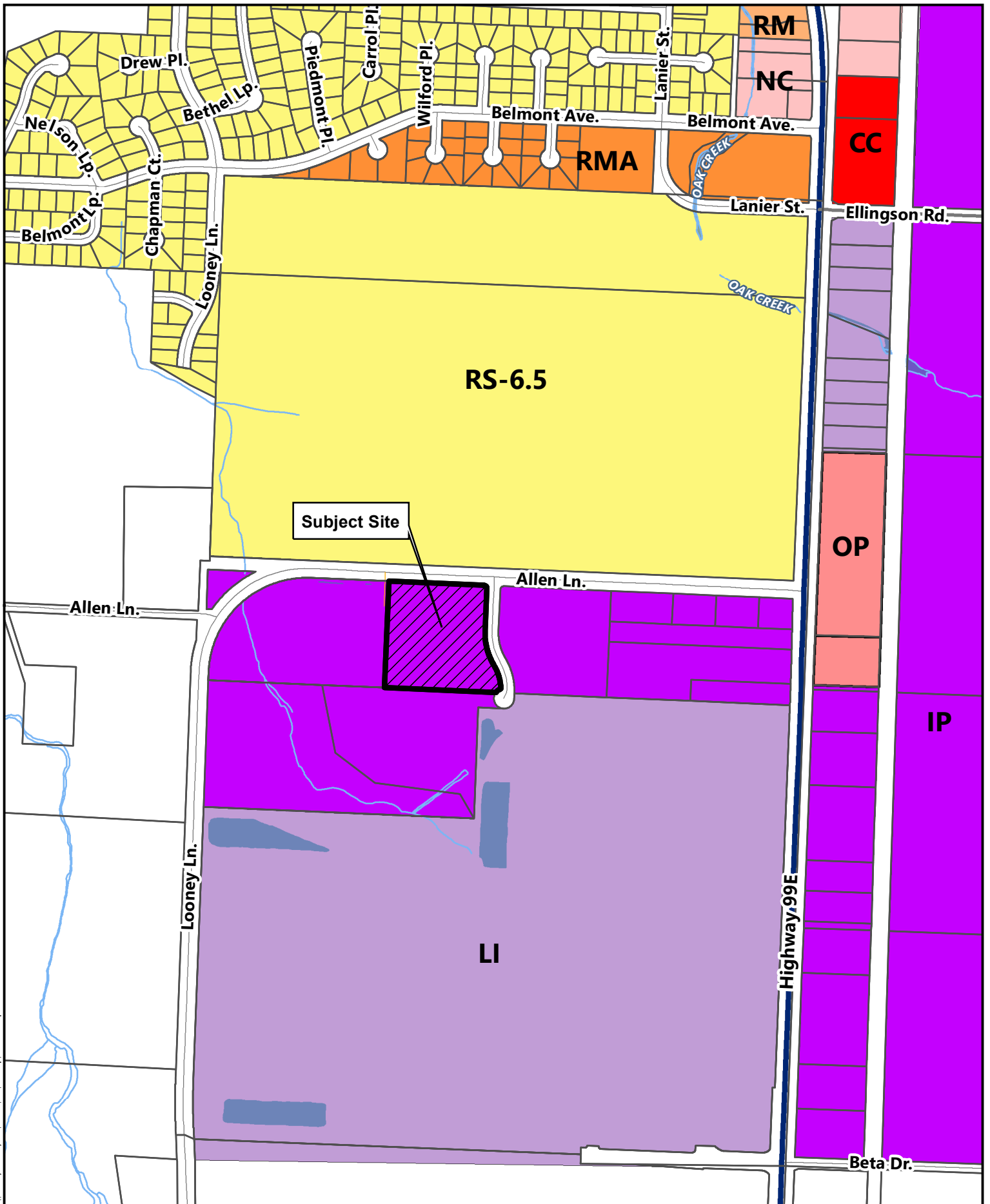
- (1) The application is complete in accordance with the applicable requirements.
- (2) The application complies with all applicable provisions of the underlying zoning district including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards.
- (3) Activities and developments within special purpose districts comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- (4) The application complies with all applicable Design Standards of Article 8.
- (5) The application complies with all applicable Design Standards of Article 10.
- (6) The application complies with all applicable On-Site Development and Environmental Standards of Article 9.
- (7) The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.
- (8) The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be available at the time of development.
- (9) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- (10) The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.
- (11) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

Section 2.455 of the ADC includes additional review criteria for non-residential development that must be met for this application to be approved.

- (1) The transportation system can safely and adequately accommodate the proposed development.
- (2) Parking areas and entrance-exit points are designed to facilitate traffic and pedestrian safety and avoid congestion.
- (3) The design and operating characteristics of the proposed development are reasonably compatible with surrounding development and land uses, and any negative impacts have been sufficiently minimized.

Additional review standards for this Site Plan Review application are found in ADC Articles 1, 2, 4, 6, 8, 9, and 12.

Attachments: Location Map, Site Plan, Elevations



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05000200300
 Feet

Date: 10/20/2023 Map Source: City of Albany

7150 SW Supra Drive

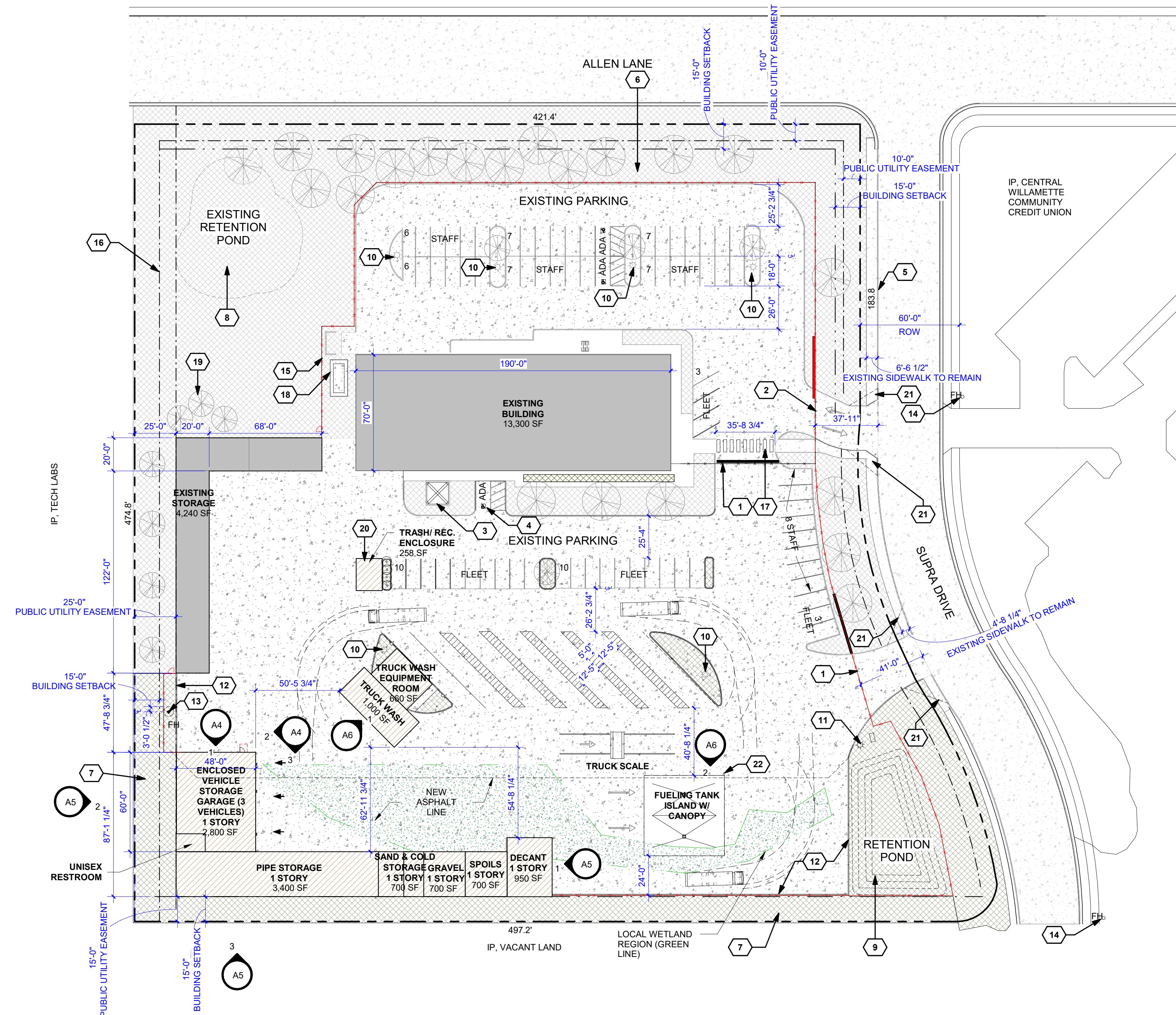
Location / Zoning Map

A3 - CONCEPTUAL SITE PLAN

RS-6.5, PARKING LOT, LINN-BENTON COMMUNITY COLLEGE

KEYNOTES

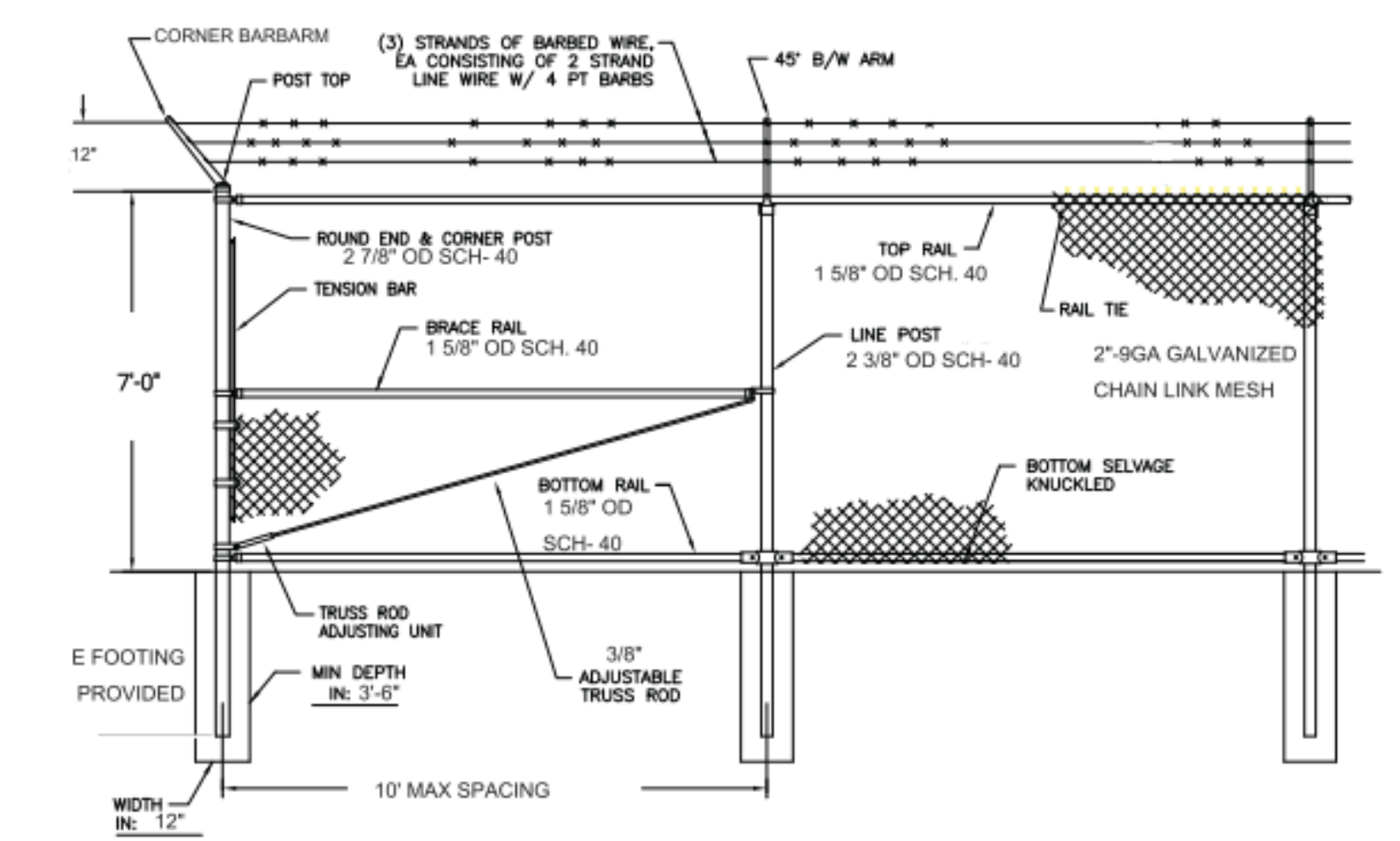
- 1 MOTORIZED ROLLING CHAIN-LINK GATE TO REMAIN
- 2 MOTORIZED ROLLING CHAIN-LINK GATE
- 3 EXISTING COMMUNICATION TOWER
- 4 ADA PARKING
- 5 EXISTING SIDEWALK
- 6 EXISTING LANDSCAPE AREA
- 7 PROPOSED LANDSCAPE AREA, SEE LANDSCAPE DRAWINGS
- 8 EXISTING RETENTION POND & BERM
- 9 PROPOSED RETENTION POND, SEE CIVIL DRAWINGS
- 10 EXISTING LIGHT POLES
- 11 PROPOSED 25 FT TALL LIGHT POLE
- 12 PROPOSED 6" CURBS
- 13 RELOCATED FIRE HYDRANT, SEE CIVIL
- 14 EXISTING FIRE HYDRANTS
- 15 PROPOSED 8'-0" TALL CHAIN LINK FENCE, SEE DETAIL
- 16 EASEMENT LINE, SEE CIVIL
- 17 PROPOSED STRIPPED ASPHALT (PEDESTRIAN CROSSING)
- 18 EXISTING GENERATOR ON CONCRETE PAD
- 19 EXISTING TREE, TYP. SEE LANDSCAPE
- 20 PROPOSED 7'-0" TALL TRASH ENCLOSURE, BLACK PVC COATED STEEL CHAINLINK FENCE WITH BLACK PRIVACY SLATS
- 21 VISION TRIANGLE
- 22 SCALE READER, ATTACHED TO THE WALL, 12' ABOVE GRADE



LEGEND:

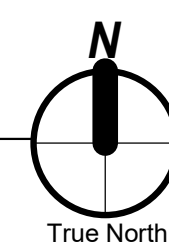
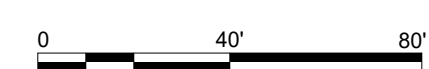
- SITE EASEMENTS
- SITE SETBACKS
- SITE PROPERTY BOUNDARY
- PROPOSED BUILDING
- EXISTING BUILDING
- FIELD DELINEATED WETLAND
- EXISTING 6 FOOT TALL CHAINLINK FENCE
- PROPOSED 7 FOOT TALL GALVANIZED CHAINLINK FENCE WITH 14 FOOT HIGH 3 STRAND BARB WIRE ON TOP
- EXISTING TREES - TO REMAIN
- 1 BIKE RACK (2 SPACES) - EXISTING TO REMAIN
PROVIDE 1 ADDITIONAL BIKE RACK (2 SPACES) MATCH EXISTING
REQUIRED: 3 < PROVIDED: 4

PROPOSED CHAINLINK FENCE

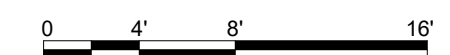
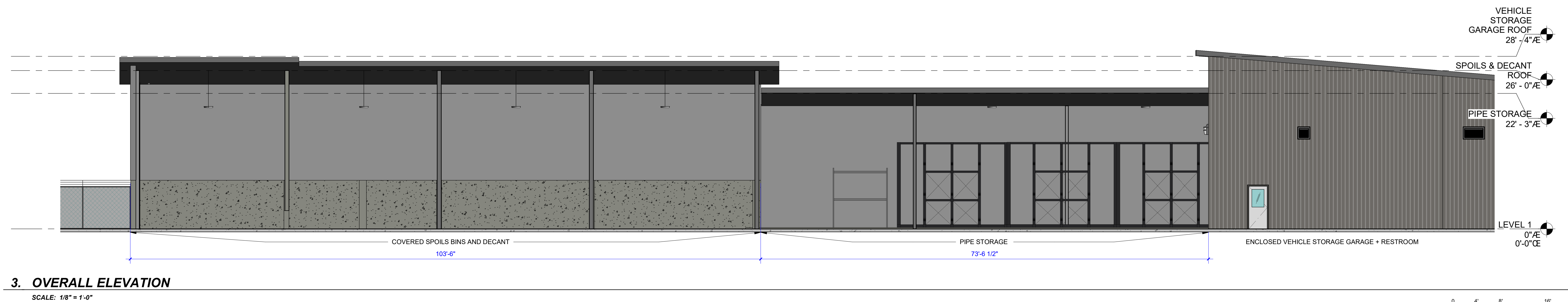
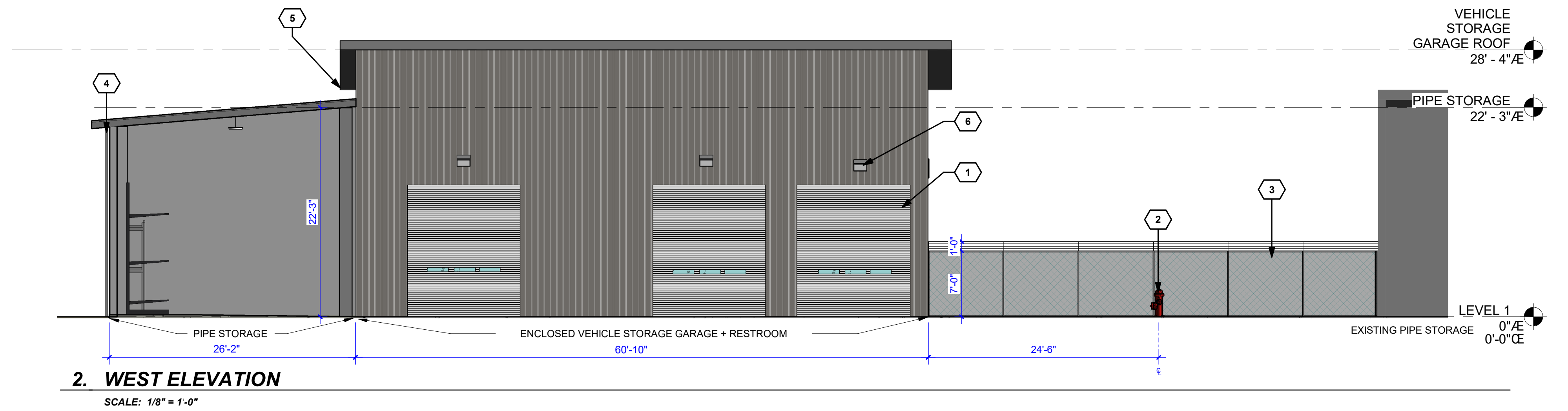
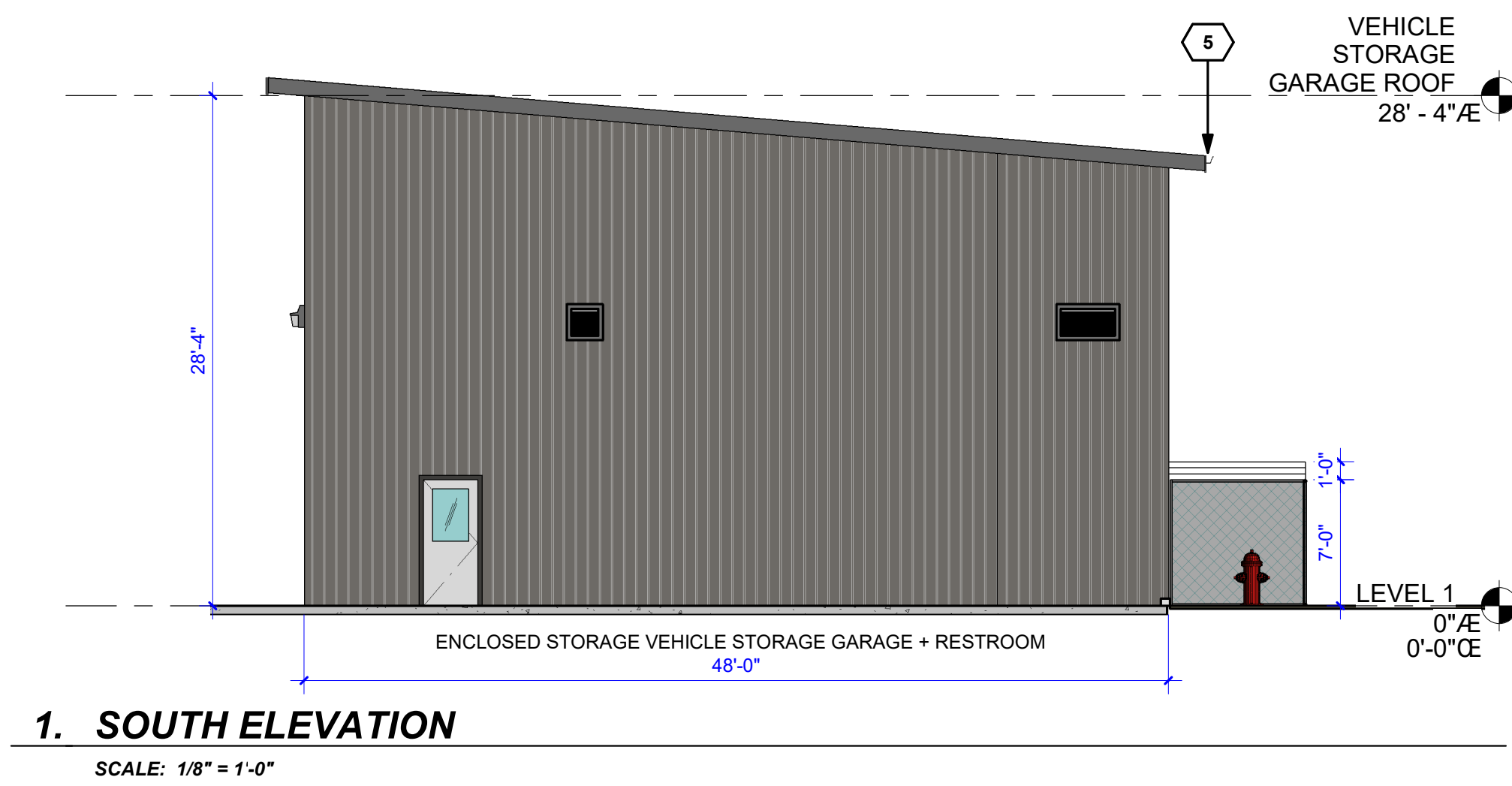


1. PROPOSED SITE PLAN

SCALE: 1" = 40'-0"



A4 - EXTERIOR ELEVATIONS



LEGEND

- EXTERIOR WALL METAL PANEL SYSTEM 1 : ZINC GREY
- GLAZING
- STANDING SEAM METAL ROOFING SYSTEM: DARK BRONZE
- CAST IN PLACE CONCRETE WALL

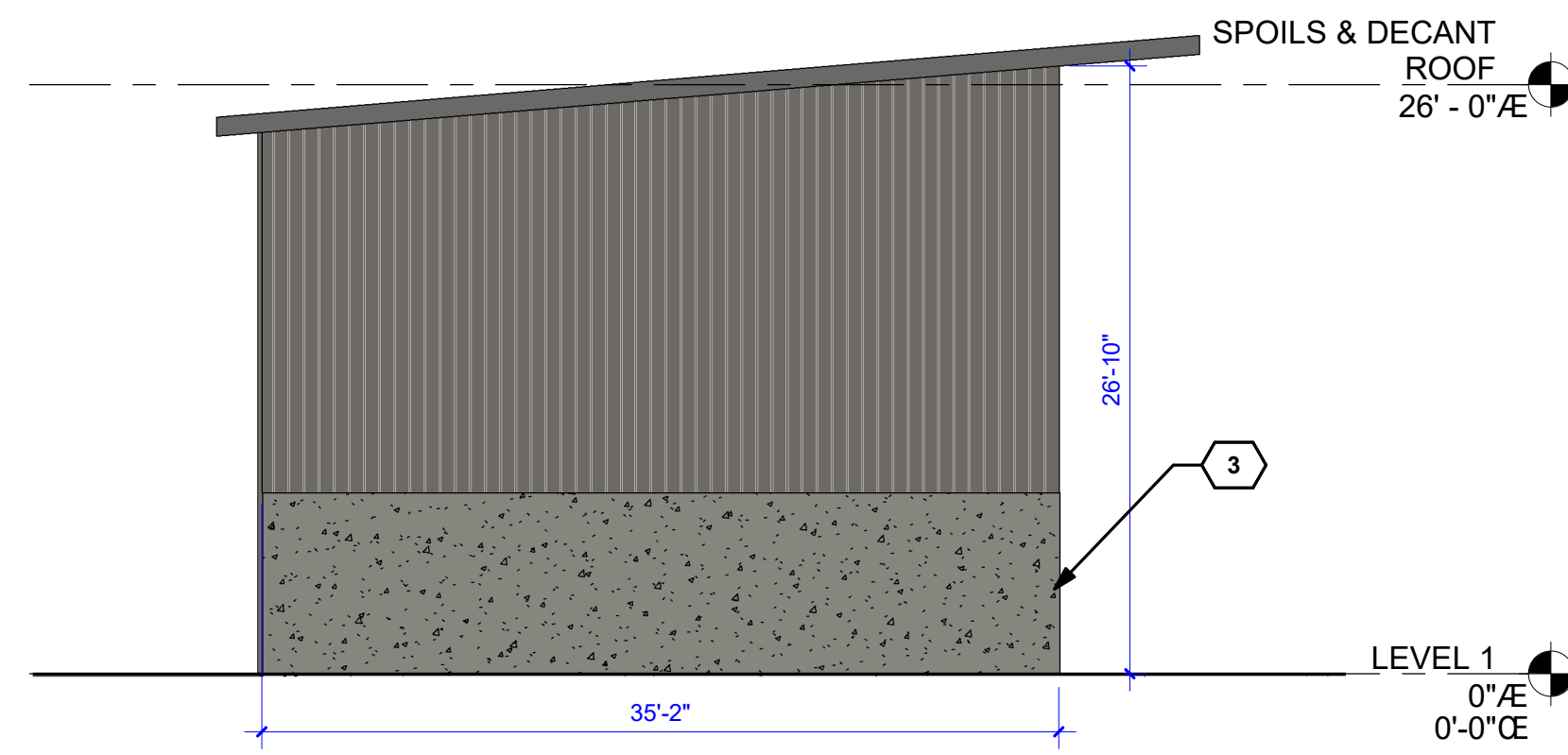
MATERIAL LEGEND

- CORRUGATED METAL PANEL SYSTEM
- ZINC GREY
- STANDING SEAM METAL ROOFING SYSTEM
- DARK BRONZE

KEYNOTES

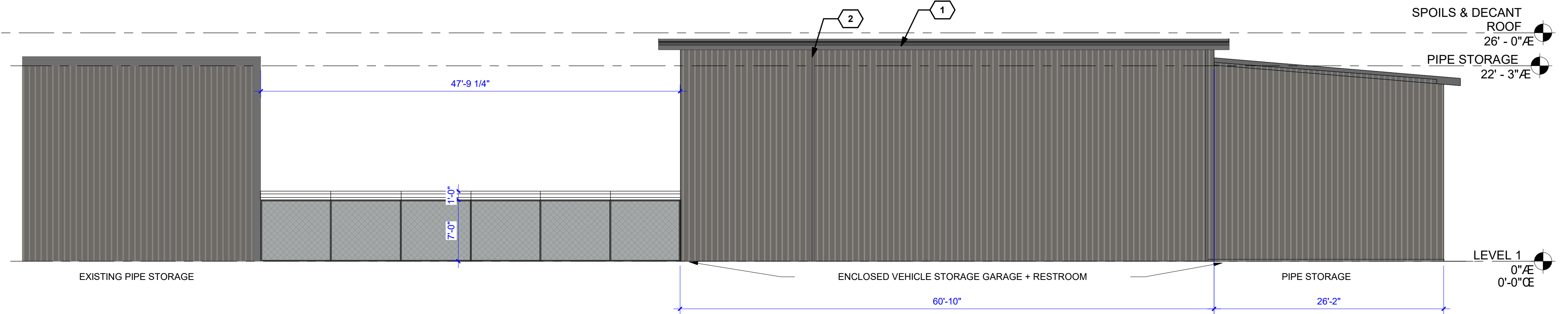
- 1 OVERHEAD COILING DOOR, 14' X 14', PRE-FINISH PAINTED
- 2 RELOCATED FIRE HYDRANT
- 3 PROPOSED 8'-0" TALL CHAIN LINK FENCE, SEE DETAIL
- 4 DOWNSPOUT, DARK BRONZE, TYP.
- 5 CONTINUOUS GUTTER ON FASCIA BOARD, DARK BRONZE FINISH, TYP.
- 6 WALL MOUNTED LIGHT FIXTURE

EXTERIOR ELEVATIONS



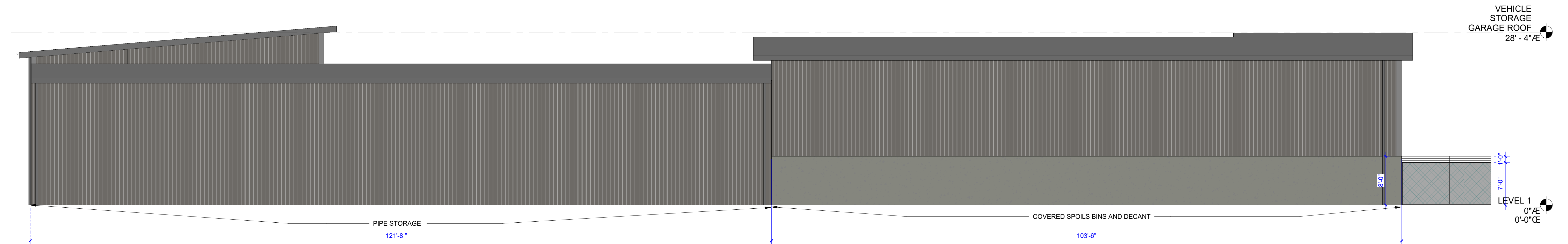
1. WEST ELEVATION AT DECANT

SCALE: 1/8" = 1'-0"



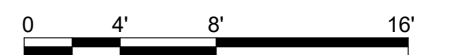
2. EAST ELEVATION

SCALE: 1/8" = 1'-0"







3. OVERALL NORTH ELEVATION

SCALE: 1/8" = 1'-0"



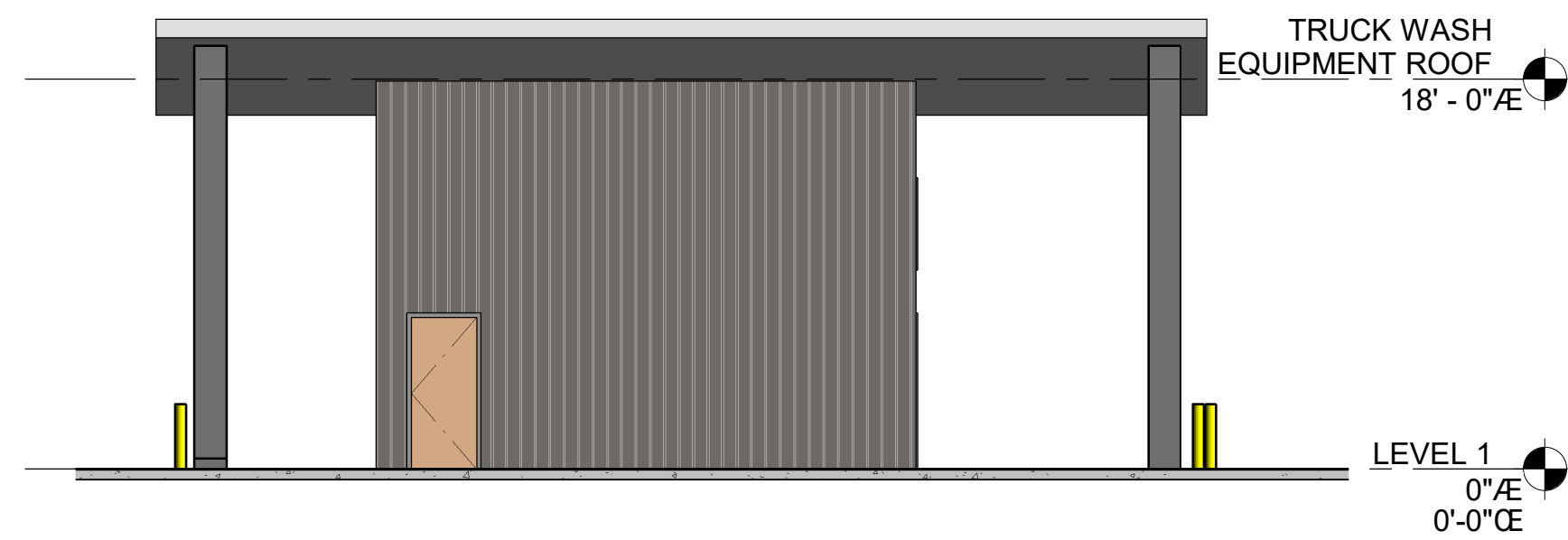
LEGEND

-  EXTERIOR WALL METAL PANEL SYSTEM -1 : ZINC GREY
-  GLAZING
-  STANDING SEAM METAL ROOFING SYSTEM: DARK BRONZE
-  CAST IN PLACE CONCRETE WALL

KEYNOTES

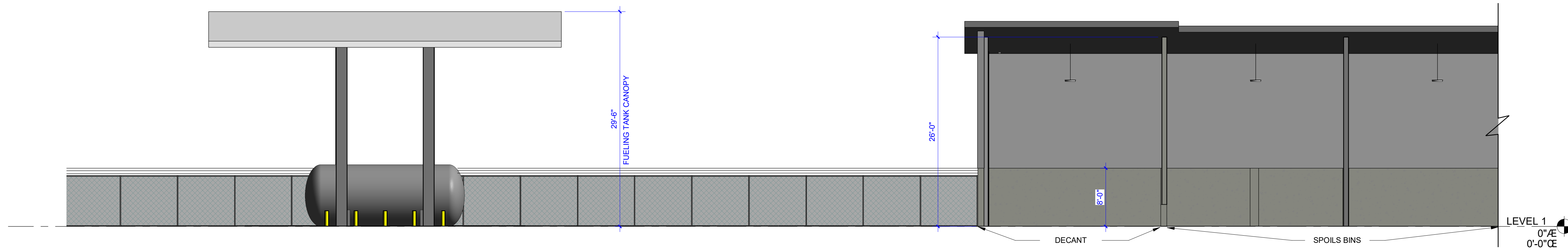
- 1 CONTINUOUS GUTTER ON FASCIA BOARD, DARK BRONZE FINISH, TYP.
- 2 DOWNSPOUT, DARK BRONZE, TYP.
- 3 CONCRETE RETAINING WALL

A6 - EXTERIOR ELEVATION



1. TRUCK WASH EQUIPMENT ROOM BUILDING ELEVATION

SCALE: 1/8" = 1'-0"







2. FUELING TANK ISLAND ELEVATION

SCALE: 1/8" = 1'-0"



LEGEND

-  EXTERIOR WALL METAL PANEL SYSTEM -1 : ZINC GREY
-  GLAZING
-  STANDING SEAM METAL ROOFING SYSTEM: DARK BRONZE
-  CAST IN PLACE CONCRETE WALL