



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

Notice of Filing

Site Plan Review

SP-03-24

February 16, 2024

The Planning Division has received the following APPLICATION. Please provide any comments you may have on this project to **Alyssa Schrems** at 541-791-0176 or alyssa.schrems@albanyoregon.gov. The deadline for submission of written comments is 5:00 p.m. on **March 1, 2024**.

Application Information

Proposal:	To construct a new 2,160-square-foot accessory structure.
Review Body:	Staff (Type I-L review)
Applicant/Property Owner:	Christian Cashen, 2333 Waverly Drive SE, Albany, OR 97322
Address/Location:	2333 Waverly Drive SE, Albany, OR 97322
Map/Tax Lot:	Linn County Tax Assessor's Map No. 11S-03W-17A Tax Lot 208
Zoning:	Residential Single Dwelling Unit (RS-6.5)
Overlay Districts:	Airport Approach District
Total Land Area:	0.93 Acres
Existing Land Use:	Residential

The City of Albany has received the application for a Site Plan Review as referenced above. We are mailing notice of the application to property owners within 100 feet of the proposed development. We invite your written comments on this application to be considered when staff decides on this application. Your comments must relate to the approval standards listed below. Issues that may provide the basis for an appeal to the Planning Commission must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is 5:00 p.m. on **March 1, 2024**, 14 days from the date the City mails the notice of filing.

We have attached a location map, site plan, and elevation drawings. All application materials are available for review in person at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please call **Alyssa Schrems**, project planner, at 541-791-0176. Submit any written comments to the Planning Division; PO Box 490, Albany, OR 97321 or by email to alyssa.schrems@albanyoregon.gov. Any person submitting written comments will receive a copy of the notice of decision on the application.

According to the Albany Development Code (ADC or Code), the proposed use is allowed on this property. This review is limited to the layout of the proposed use in accordance with the review criteria contained in ADC Section 2.450. The use must also meet applicable City development standards found in the Code.

These standards address such features as off-street parking, landscaping, setbacks, overlay districts, outside storage, and lighting.

The City may attach conditions of approval to the application to ensure that the proposal will conform to the applicable review criteria (ADC 2.450).

Approval Standards for This Request

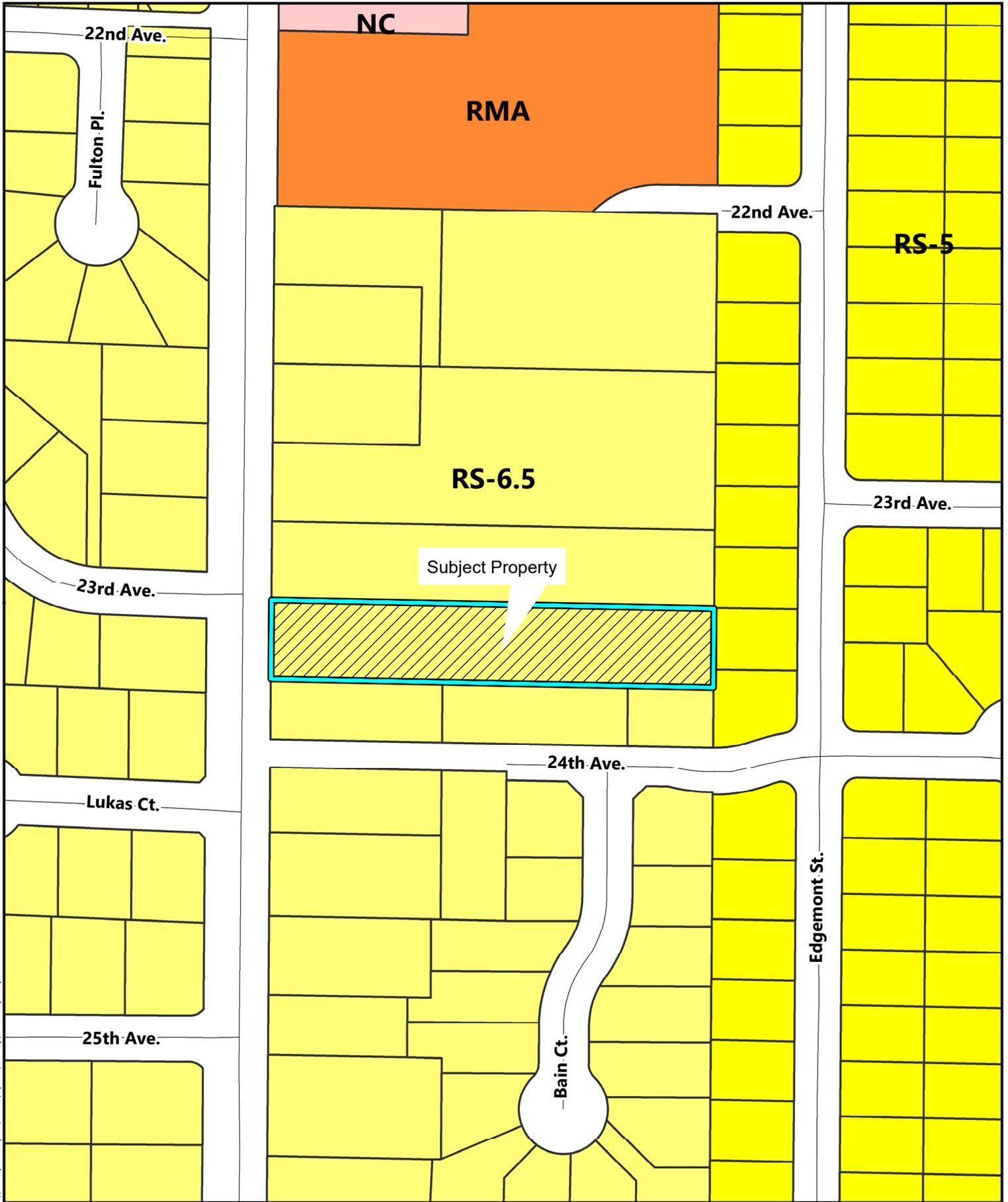
Site Plan Review Criteria

Section 2.450 of the ADC includes the following review criteria that must be met for this application to be approved.

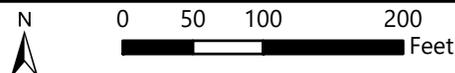
- (1) The application is complete in accordance with the applicable requirements.
- (2) The application complies with all applicable provisions of the underlying zoning district including, but not limited to, setbacks, lot dimensions, density, lot coverage, building height, and other applicable standards.
- (3) Activities and developments within special purpose districts comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.
- (4) The application complies with all applicable Design Standards of Article 8.
- (5) The application complies with all applicable Design Standards of Article 10.
- (6) The application complies with all applicable On-Site Development and Environmental Standards of Article 9.
- (7) The Public Works Director has determined that public facilities and utilities are available to serve the proposed development in accordance with Article 12 or will be made available at the time of development.
- (8) The Public Works Director has determined that transportation improvements are available to serve the proposed development in accordance with Article 12 or will be available at the time of development.
- (9) The proposed post-construction stormwater quality facilities (private and/or public) can accommodate the proposed development, consistent with Title 12 of the Albany Municipal Code.
- (10) The proposal meets all existing conditions of approval for the site or use, as required by prior land use decision(s), as applicable.
- (11) Sites that have lost their nonconforming status must be brought into compliance and may be brought into compliance incrementally in accordance with Section 2.370.

Additional review standards for this Site Plan Review application are found in ADC Articles 1, 2, 3, 4, 8, 9, and 12.

Attachments: Location Map, Site Plan, Elevations



\\con.cityofalbany.net\home\analysis\Desktop\Notice Map Template.mxd



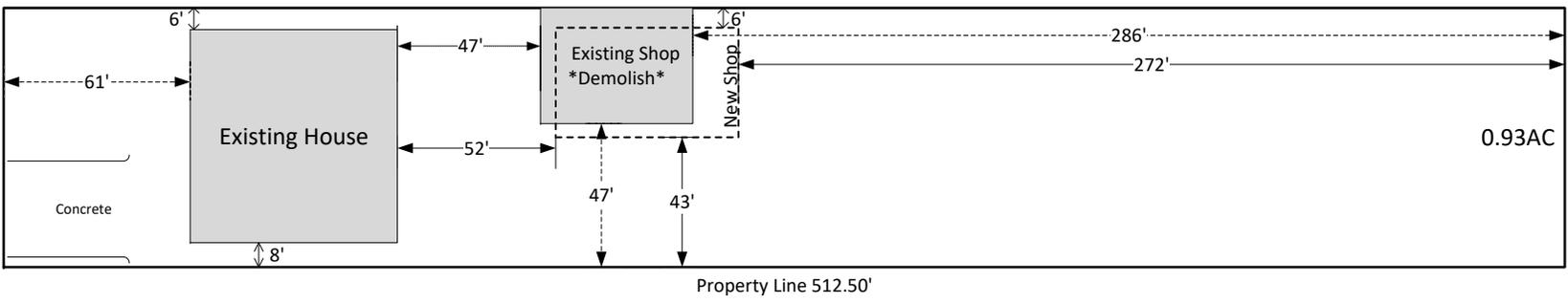
2333 Waverly Drive SE

Date: 1/31/2024 Map Source: City of Albany

Location Map



Waverly Dr SE



Name: Chris Cashen **Phone:** 541-272-1851 **Scale:** 1" = 60'

Address: 2333 Waverly Dr SE Albany OR 97322 **Assessor's Map No:** 11S-03W-17-A **Lot No:** 208

Drawn 1-25-2024

POLE BUILDING PLANS

BUILDING OWNER: CHRIS CASHEN
 BUILDING LOCATION: 2333 WAVERLY DR. SE
 ALBANY, OR. 97322
 COUNTY: LINN
 BUILDING DIMENSIONS: 36' X 60' X 16'-6"
 ROOF PITCH: 4 IN 12
 BUILDING AREA/CONST. TYPE: 2,160 SF / TYPE V-B
 ROOF FRAMING SYSTEM: PRE-ENGINEERED TRUSSES BY OTHERS
 ROOF ASSEMBLY: METAL
 WALL ASSEMBLY: METAL / METAL OVER WOOD SHEATHING
 BUILDING USE: PRIVATE SHOP

CONTRACTOR/BUILDER: RMAC BUILDINGS
 ADDRESS: P.O. BOX 70
 SCIO, OR. 97374

BUILDING DESIGN CRITERIA

GROUND SNOW LOAD = 25 PSF
 ROOF DEAD LOAD = 3 PSF
 WIND SPEED = 100 MPH (3 SEC. GUST)
 WIND EXPOSURE = B
 SEISMIC DESIGN PARAMETERS:
 $S_s = 0.77$; $S_1 = 0.40$
 SEISMIC DESIGN CATEGORY = D
 RISK CATEGORY = II
 SOIL BEARING CAPACITY = 1,500 PSF

BUILDING CODES & REFERENCES

-2022 OSSC
 -ASCE 7-16
 -NDS 2018

SHT	DRAWING LIST
1	C1.0 COVER SHEET
2	P1.0 PLAN VIEW
3	E1.0 ELEVATION VIEWS
4	S1.0 SECTIONS & DETAILS
5	D1.0 POSTHOLE, PURLIN & GIRT DETAILS
6	D2.0 SHEATHING DETAILS

CONSTRUCTION NOTES

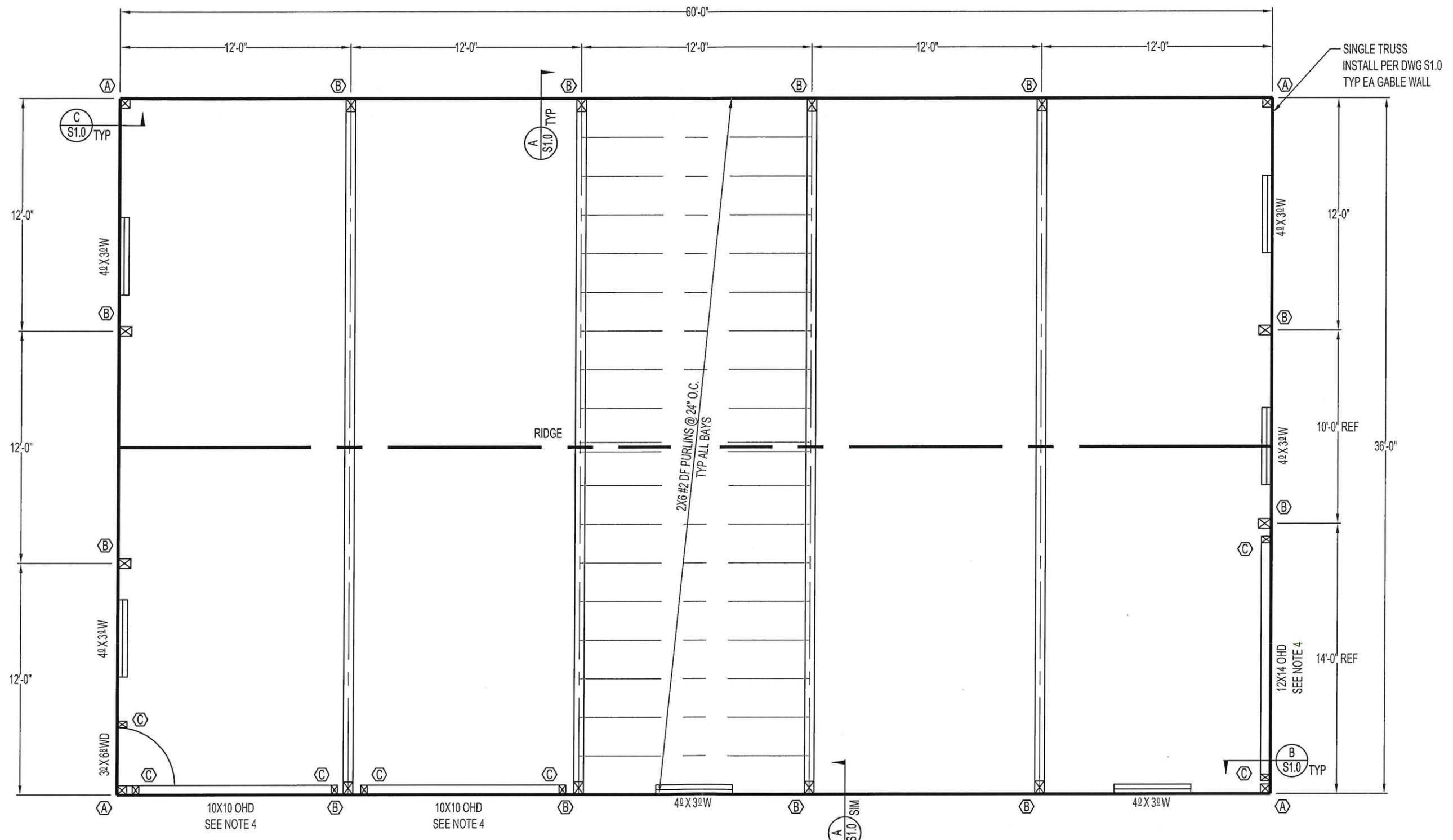
- ALL DRAWINGS SHALL BE REVIEWED AND APPROVED BY OWNER AND/OR CONTRACTOR PRIOR TO BEGINNING OF SITE WORK OR BUILDING CONSTRUCTION. ALL DIMENSIONS AND SPECIFICATIONS SHALL BE VERIFIED AND ANY DISCREPANCIES, ERRORS AND/OR OMISSIONS SHALL BE REPORTED TO SOUTH VALLEY ENGINEERING PRIOR TO MATERIAL PURCHASE AND BEGINNING OF CONSTRUCTION. SOUTH VALLEY ENGINEERING SHALL NOT BE HELD LIABLE FOR ANY COSTS OR DAMAGES INCURRED DUE TO DISCREPANCIES, ERRORS AND/OR OMISSIONS DISCOVERED AFTER CONSTRUCTION HAS BEGUN.
- THE BUILDING OWNER AND OR CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ANY WORK DONE THAT IS NOT SHOWN ON OR DOES NOT COMPLY WITH THESE PLANS. REQUESTS FOR ANY CHANGES SHALL BE MADE TO THE ENGINEER IN WRITING, AND SHALL BE RECEIVED FROM THE ENGINEER IN WRITING PRIOR TO IMPLEMENTATION.
- STRUCTURAL CONCRETE FOR SLABS AND FOUNDATIONS SHALL BE A MINIMUM OF 2,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS WITH NO SPECIAL INSPECTION REQUIRED. FOOTINGS AND FOUNDATIONS SHALL BE CAST AGAINST UNDISTURBED NATIVE SOIL UNLESS OTHERWISE NOTED ON THE PLANS.
- ALL DIMENSIONAL LUMBER SHALL BE #2 DF OR BETTER UNLESS OTHERWISE NOTED ON THE PLANS. HIGHER GRADE LUMBER OF SAME SPECIES MAY BE SUBSTITUTED FOR SPECIFIED GRADE.
- ALL WOOD IN CONTACT WITH CONCRETE ABOVE GROUND SHALL BE PRESSURE TREATED FOR ABOVE GROUND CONTACT. ALL WOOD EMBEDDED IN GROUND SHALL BE PRESSURE TREATED FOR BURIAL.
- ROOF & WALL WOOD SHEATHING (IF USED)-UNLESS OTHERWISE NOTED ON THE PLANS:
 ALL ROOF AND WALL WOOD SHEATHING SHALL BE AN APPROVED APA RATED SHEATHING, EXPOSURE I, GRADE C-D, EXTERIOR GLUE, 7/16" THICK (MINIMUM). EXTERIOR GRADE SHEATHING SHALL BE RATED FOR EXTERIOR USE. WOOD ROOF SHEATHING SHALL BE NAILED WITH 8d NAILS AT 6" O.C. EDGES AND 12" O.C. FIELD. 2X BLOCKING IS NOT REQUIRED FOR ROOF SHEATHING. WALL SHEATHING SHALL BE NAILED WITH 8d NAILS AT 6" O.C. EDGES AND 12" O.C. FIELD OR AS SPECIFIED ON THE PLANS. 2X BLOCKING SHALL BE INSTALLED AT ALL PANEL EDGES ON ALL WALLS.
- ALL FASTENERS EXPOSED TO THE ELEMENTS SHALL BE GALVANIZED OR CORROSION RESISTANT. ALL FASTENERS IN PRESSURE TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- IF PLANS SPECIFY GRANULAR BACKFILL IN POSTHOLE, BACKFILL WITH 3/4" MINUS CLEAN CRUSHED GRAVEL TO SPECIFIED EMBEDMENT DEPTH. BACKFILL IN 6" LIFTS AND SATURATE AND COMPACT EACH LIFT.
- INSTALL ALL TRUSS BRACING PER TRUSS ENGINEERING. INSTALL TEMPORARY TRUSS BRACING DURING CONSTRUCTION PER BCSI-B10 GUIDELINES FOR POST FRAME TRUSS INSTALLATION, RESTRAINT & BRACING DURING CONSTRUCTION.
- IF SOLID ROCK IS ENCOUNTERED AND THE POSTHOLE DEPTH CANNOT BE DRILLED TO THE DEPTH AS SPECIFIED, THE FOLLOWING CRITERIA MAY BE USED:
 - ALL POSTHOLES MUST BE A MINIMUM OF 18"Ø AND 30" DEEP AND
 - THE SOLID ROCK PORTION OF THE POSTHOLE DEPTH MUST BE A MINIMUM OF 18" DEEP AND
 - ALL POSTHOLES MUST BE BACKFILLED WITH CONCRETE BACKFILL FULL DEPTH
 - THE 6" CONCRETE FOOTING AT THE BOTTOM OF THE HOLE MAY BE OMITTED FOR POSTS BEARING ON SOLID ROCK

NOTE: VERIFY ALL INSPECTIONS REQUIRED BY THE PERMITTING AGENCY PRIOR TO SITE PREPARATION AND BUILDING CONSTRUCTION



COVER SHEET			
DRAWING NO.: C1.0	OWNER: CHRIS CASHEN		
REV.: 0	SHEET: 1	LOCATION: 2333 WAVERLY DR. SE	
PROJECT NO.: 12401006		ALBANY, OR. 97322	
DATE: 11 JAN 2024	SCALE: N/A	DRAWN BY: LD	
 South Valley Engineering 4742 Liberty Rd. S #151 • Salem, OR. 97302 Ph. (503) 302-7020 • Fax (888) 535-6341 www.southvalleyengineering.com			

THE PLANS FOR THIS BUILDING ARE THE PROPERTY OF SOUTH VALLEY ENGINEERING, LLC AND SHALL BE SURRENDERED UPON REQUEST. THIS BUILDING HAS BEEN ENGINEERED TO CONFORM TO THE DIMENSIONS AND BUILDING DESIGN CRITERIA SPECIFIED, AND SHALL BE BUILT ONLY AT THE LOCATION DESIGNATED ON THESE PLANS. ANY CHANGES OR MODIFICATIONS TO THESE PLANS, INCLUDING BUT NOT LIMITED TO BUILDING DIMENSIONS, DESIGN CRITERIA, OR BUILDING LOCATION WITHOUT EXPRESS WRITTEN PERMISSION OR DOCUMENTATION BY THE ENGINEER WHOSE SEAL IS AFFIXED TO THESE PLANS SHALL RENDER THESE PLANS NULL AND VOID, AND THE ENGINEER WHOSE SEAL IS AFFIXED TO THESE PLANS SHALL NOT BE HELD LIABLE FOR THE STRUCTURAL INTEGRITY OR CODE COMPLIANCE OF ANY BUILDING CONSTRUCTED REFERENCING THESE PLANS UNDER THESE CONDITIONS.

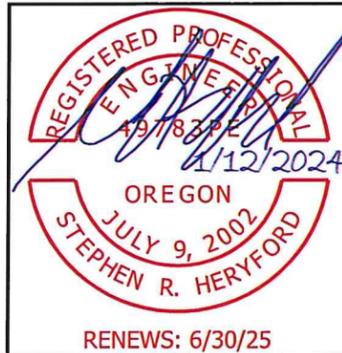


GENERAL NOTES

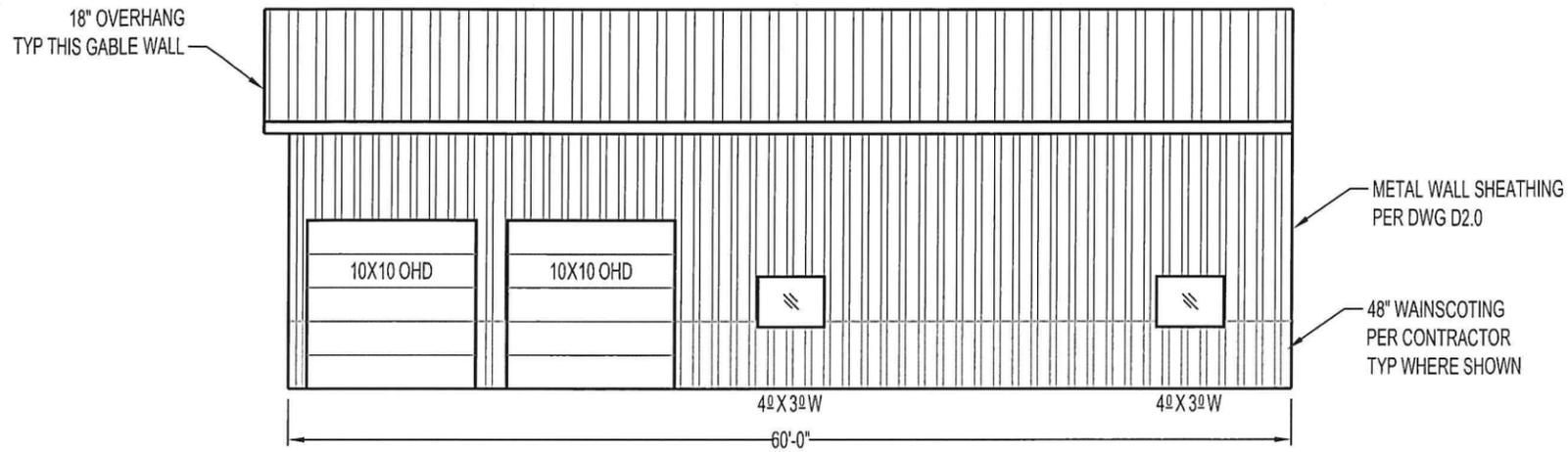
1. ALL POSTS TO BE #2 HF PRESSURE TREATED FOR BURIAL AND ORIENTED AS SHOWN UNLESS OTHERWISE NOTED
2. UNLESS OTHERWISE DIMENSIONED, ALL WINDOWS AND WALK DOORS MAY BE LOCATED BY THE OWNER/CONTRACTOR IN THE WALLS SHOWN
3. EMBED POSTS AND BACKFILL PER DWG D2.0
4. CONTRACTOR TO VERIFY OVERHEAD DOOR DIMENSIONS AND CLEARANCES PRIOR TO BUILDING CONSTRUCTION AND OVERHEAD DOOR INSTALLATION

TABLE 1

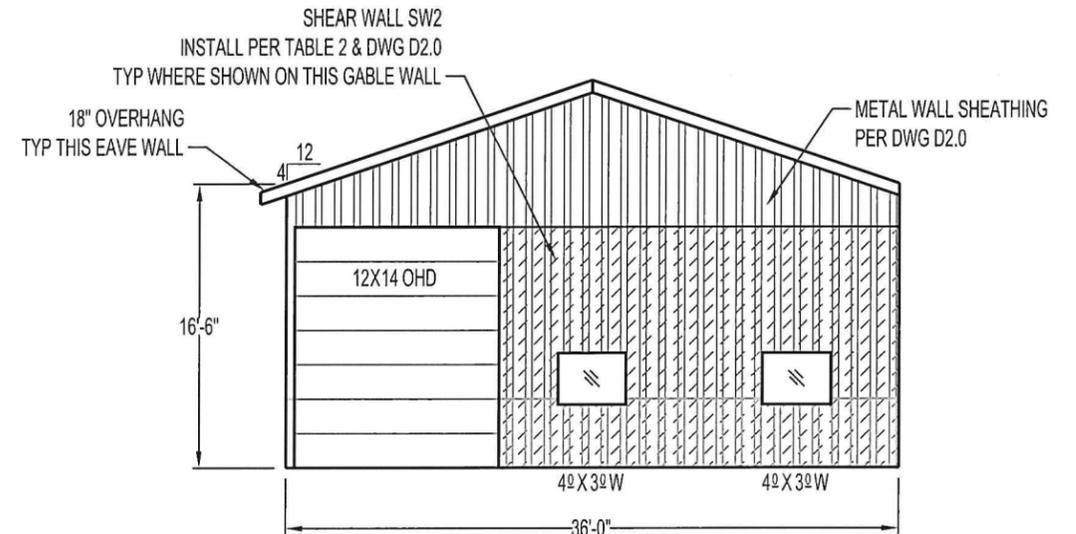
POST	SIZE	HOLE DIMENSIONS		BACKFILL	NOTES
		DIAMETER	DEPTH		
(A)	6X6	24"Ø	5'-0"	CONCRETE	-
(B)	6X8	24"Ø	5'-0"	CONCRETE	-
(C)	4X6	18"Ø	2'-6"	CONCRETE	INSTALL PER CONSTRUCTION NOTES



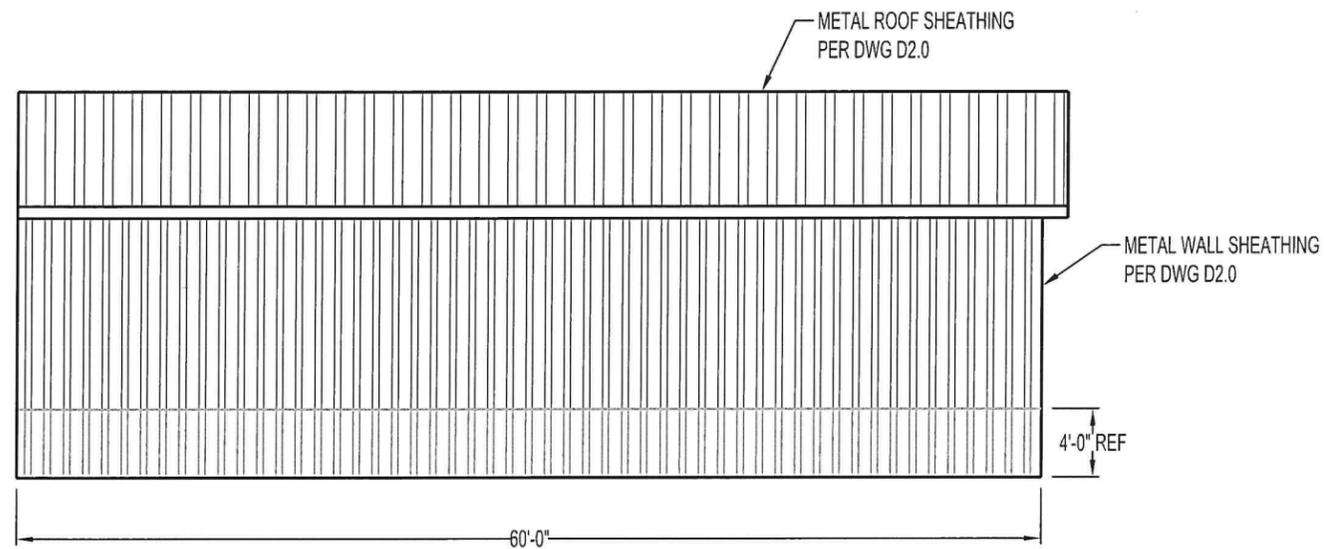
PLAN VIEW			
DRAWING NO.: P1.0	OWNER: CHRIS CASHEN		
REV.: 0	SHEET: 2	LOCATION: 2333 WAVERLY DR. SE	
PROJECT NO.: 12401006		ALBANY, OR. 97322	
DATE: 11 JAN 2024	SCALE: 3/16" = 1'-0"	DRAWN BY: LD	
		South Valley Engineering 4742 Liberty Rd. S #151 • Salem, OR. 97302 Ph. (503) 302-7020 • Fax (888) 535-6341 www.southvalleyengineering.com	
		RENEWALS: 6/30/25	



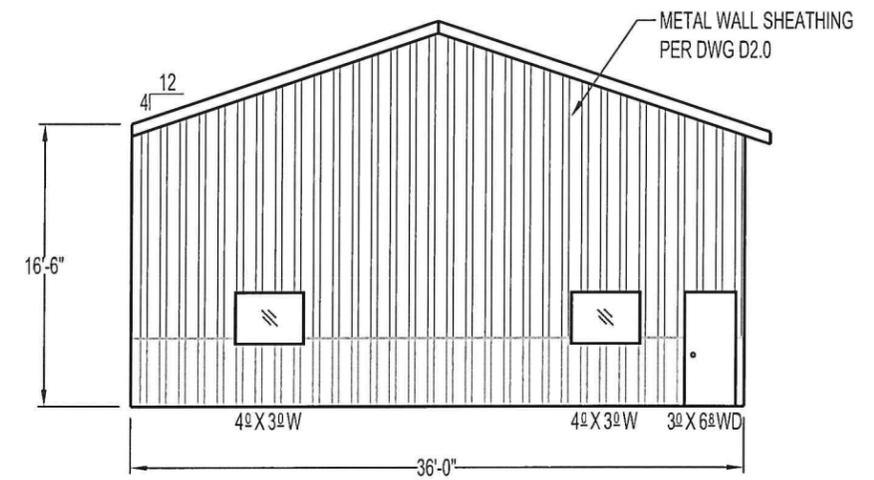
FRONT EAVE



RIGHT GABLE



REAR EAVE



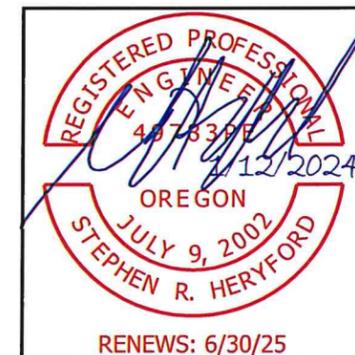
LEFT GABLE

TABLE 2

SHEAR WALL	TYPE	FASTENING		
		EDGES	FIELD	FASTENERS
SW1	WOOD SHEATHING	6" O.C.	12" O.C.	8d NAILS

GENERAL NOTES

1. INSTALL SHEAR PANEL PER DWG D2.0

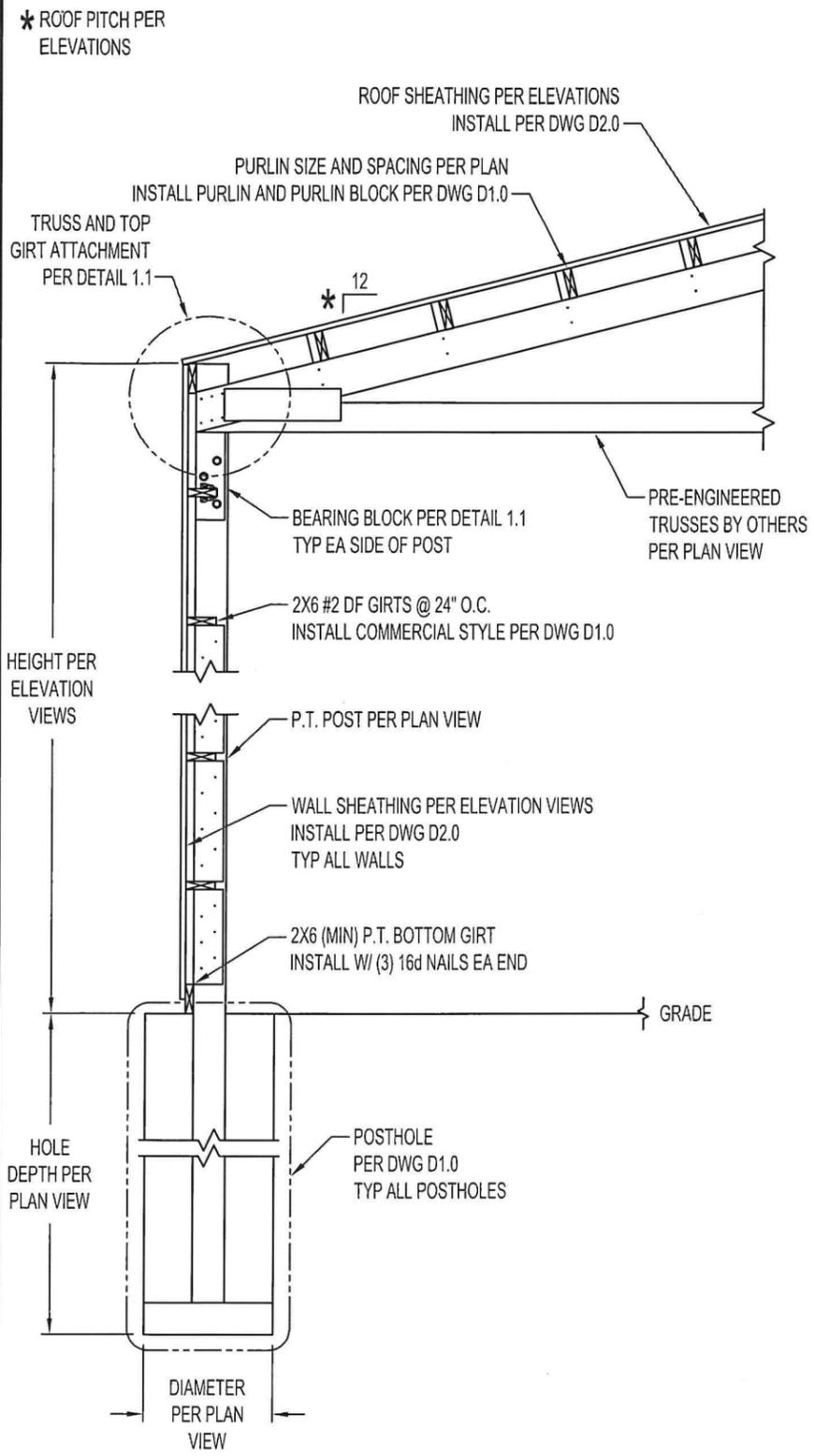


ELEVATIONS

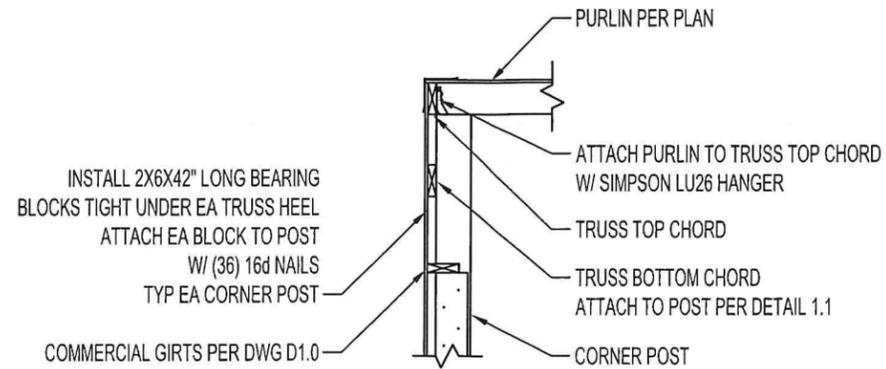
DRAWING NO.: E1.0	OWNER: CHRIS CASHEN
REV.: 0 SHEET: 3	LOCATION: 2333 WAVERLY DR. SE
PROJECT NO.: 12401006	ALBANY, OR. 97322
DATE: 11 JAN 2024	SCALE: 3/32" = 1'-0" DRAWN BY: LD



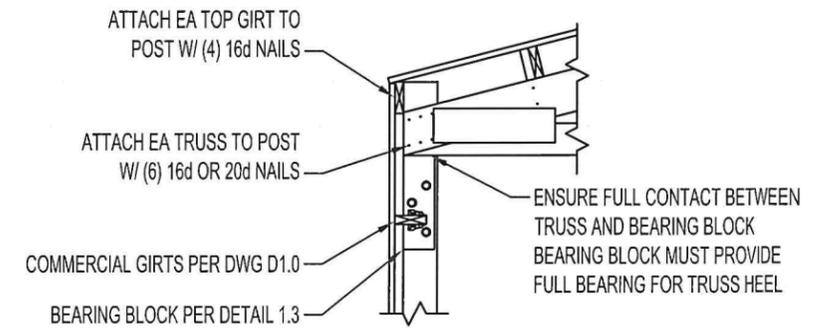
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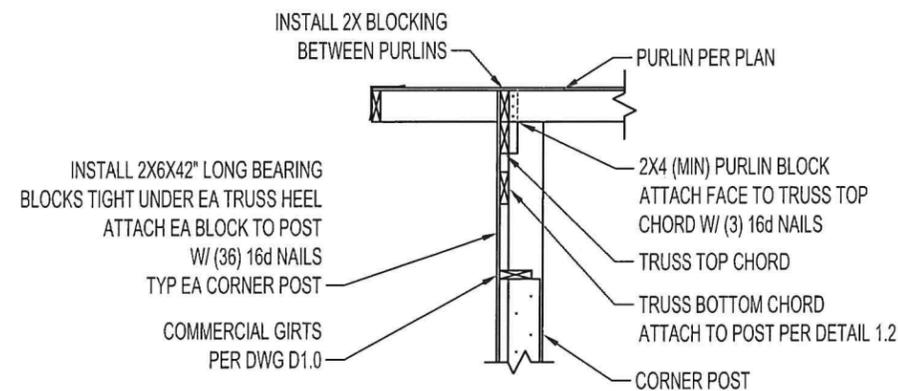
SECTION A



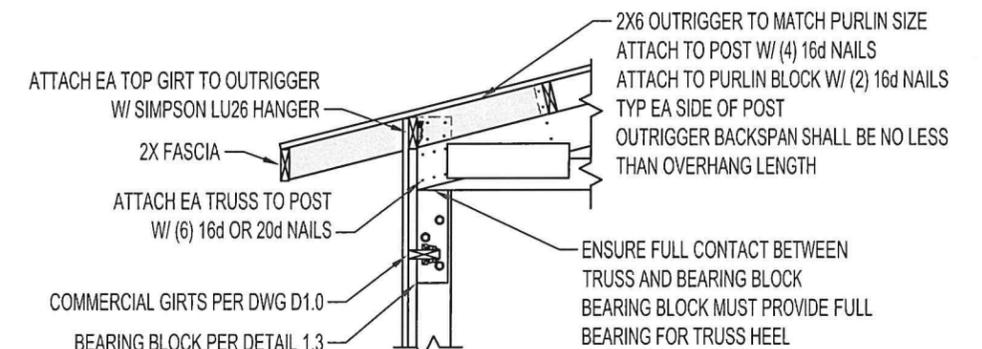
SECTION B
GABLE TRUSS CONNECTION W/ COMMERCIAL GIRTS



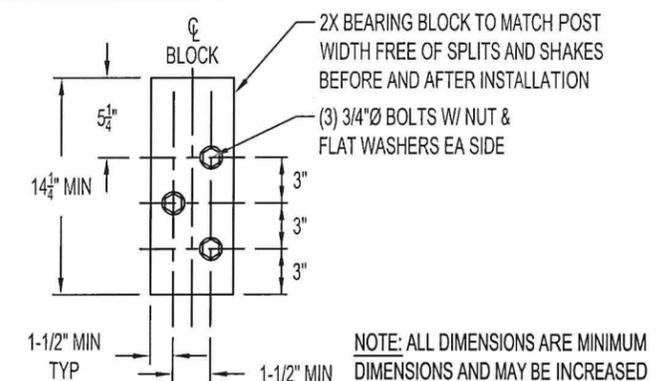
DETAIL 1.1
TRUSS ATTACHMENT WITH COMMERCIAL GIRTS



SECTION C
GABLE TRUSS CONNECTION W/ COMMERCIAL GIRTS

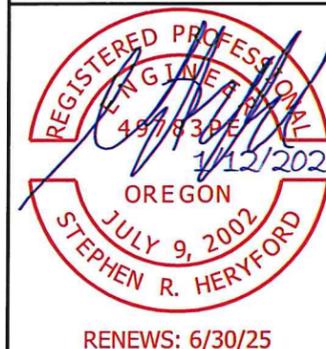


DETAIL 1.2
TRUSS ATTACHMENT WITH COMMERCIAL GIRTS



DETAIL 1.3
SCALE: NTS
BEARING BLOCK DIMENSIONS & BOLT SPACING

NOTE: ALL DIMENSIONS ARE MINIMUM DIMENSIONS AND MAY BE INCREASED BUT NOT DECREASED

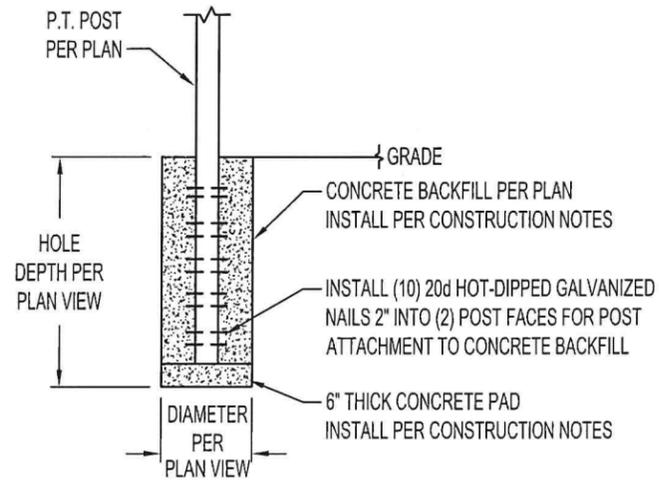


SECTIONS & DETAILS

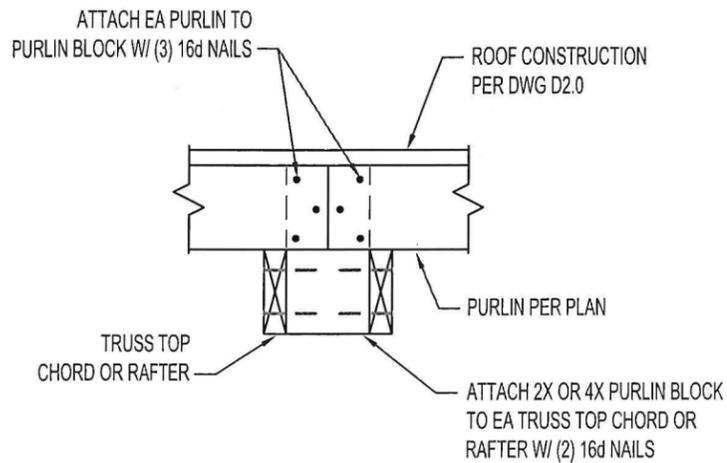
DRAWING NO.: S1.0	OWNER: CHRIS CASHEN
REV.: 0 SHEET: 4	LOCATION: 2333 WAVERLY DR. SE ALBANY, OR. 97322
PROJECT NO.: 12401006	DATE: 11 JAN 2024
SCALE: 3/8"= 1'-0"	DRAWN BY: LD



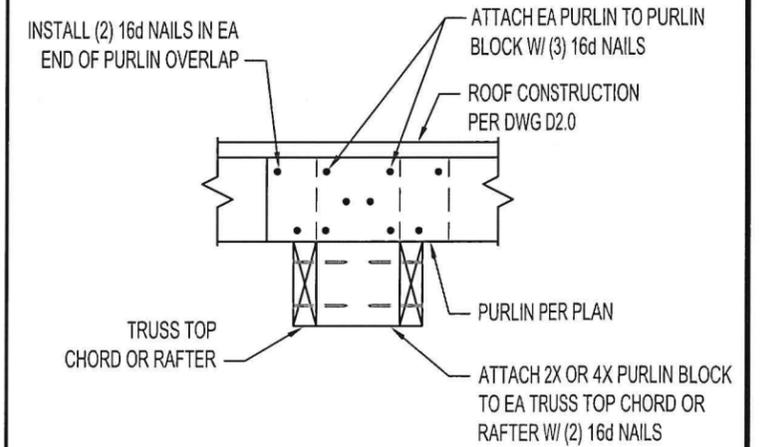
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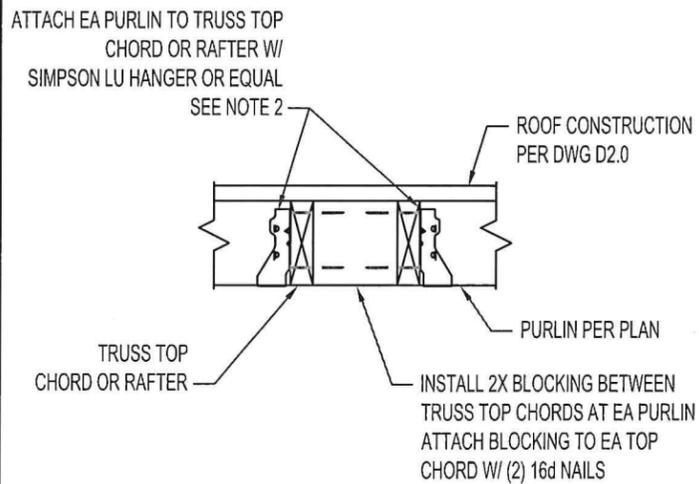
DETAIL 1.2
POST EMBEDMENT DETAIL
CONCRETE BACKFILL



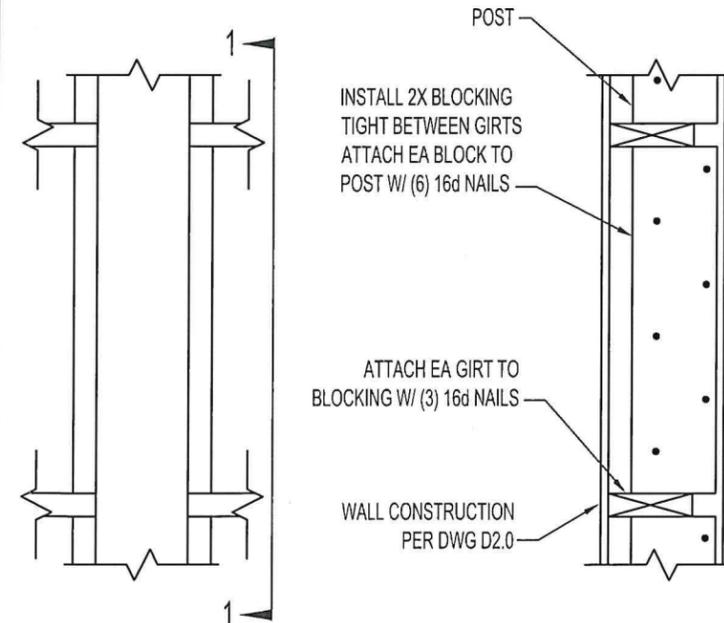
DETAIL 1.3
PURLINS STACKED AND BUTTED



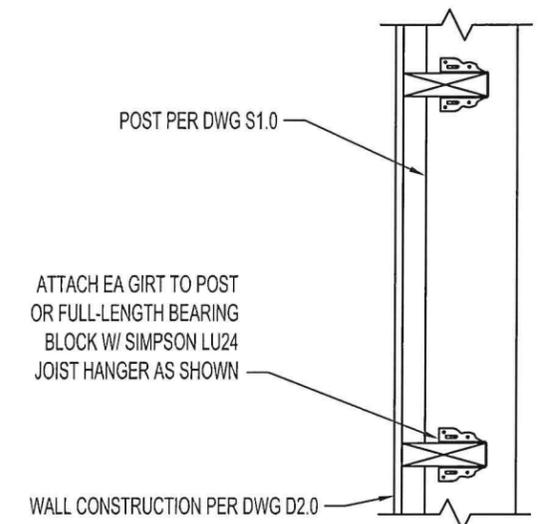
DETAIL 1.4
PURLINS STACKED AND OVERLAPPED



DETAIL 1.5
PURLINS INSTALLED WITH JOIST HANGERS



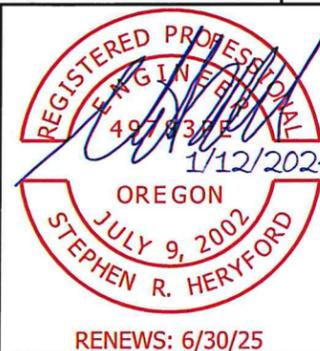
DETAIL 1.7
COMMERCIAL GIRT INSTALLATION



DETAIL 1.8
ALTERNATE COMMERCIAL GIRT INSTALLATION

GENERAL NOTES

1. ALL NAILS INTO PRESSURE TREATED LUMBER SHALL BE HOT-DIPPED GALVANIZED
2. IF PURLIN DEPTH EXCEEDS TRUSS TOP CHORD DEPTH, USE SIMPSON JB TOP FLANGE HANGER OR EQUAL

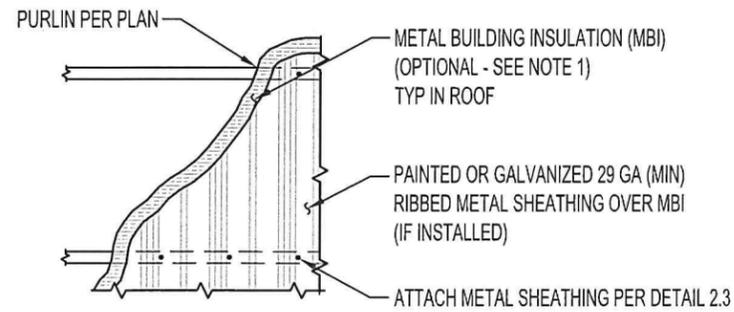


POSTHOLE, PURLIN & GIRT DETAILS

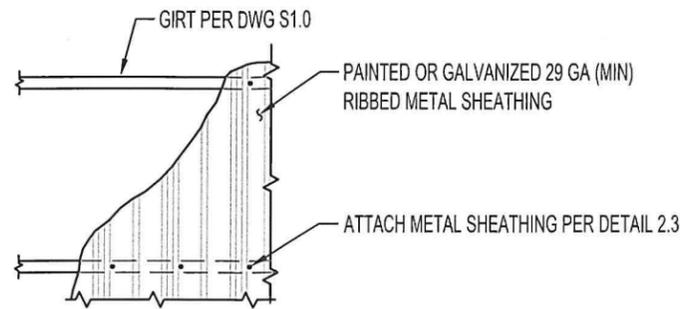
DRAWING NO.: D1.0	OWNER: CHRIS CASHEN
REV.: 0 SHEET: 5	LOCATION: 2333 WAVERLY DR. SE
PROJECT NO.: 12401006	ALBANY, OR. 97322
DATE: 11 JAN 2024	SCALE: NTS DRAWN BY: LD



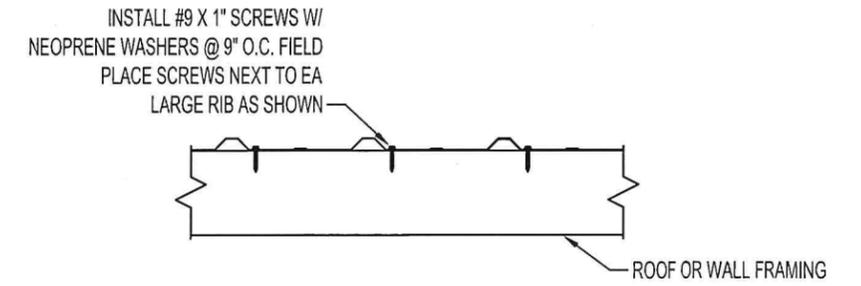
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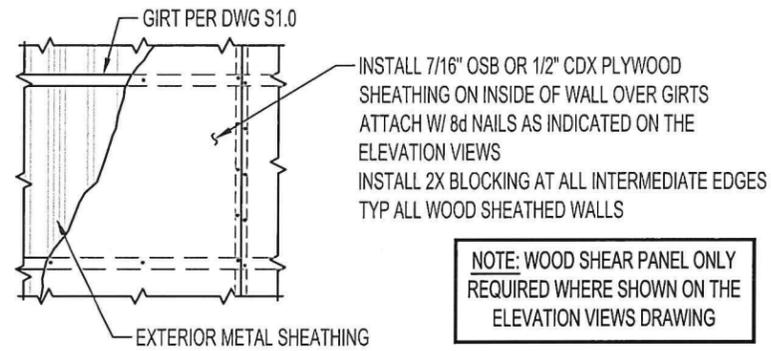
DETAIL 2.1
ROOF SHEATHING



DETAIL 2.2
WALL SHEATHING



DETAIL 2.3
SCALE X2
METAL SHEATHING ATTACHMENT
STANDARD SCREW SCHEDULE



**NOTE: WOOD SHEAR PANEL ONLY
REQUIRED WHERE SHOWN ON THE
ELEVATION VIEWS DRAWING**

DETAIL 2.4
INSIDE WOOD SHEATHED SHEAR PANEL

GENERAL NOTES

- METAL BUILDING INSULATION IS NOT REQUIRED BUT IS RECOMMENDED TO REDUCE OR PREVENT CONDENSATION



SHEATHING DETAILS			
DRAWING NO.: D2.0	OWNER: CHRIS CASHEN		
REV.: 0	SHEET: 6	LOCATION: 2333 WAVERLY DR. SE	
PROJECT NO.: 12401006		ALBANY, OR. 97322	
DATE: 11 JAN 2024	SCALE: NTS	DRAWN BY: LD	
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