



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

Notice of Filing

Tentative Partition Plat

PA-03-24 & SP-06-24

March 22, 2024

The City of Albany Planning Division has received the following APPLICATION. The deadline for submission of written comments is 5:00 p.m. on **April 5, 2024**.

Application Information

Proposal:	Tentative Partition Plat to divide one parcel into two parcels and a Site Plan Review for Tree Felling.
Property Owner/Applicant:	Moises Moreno, 34118 Oakville Road SE, Albany, OR 97321
Representative:	Laura LaRoque, Udell Engineering & Land Surveying, LLC, 63 E. Ash Street, Lebanon, OR 97355
Address/Location:	2336 Jackson Street SE, Albany, OR 97321
Map/Tax Lot:	Linn County Assessor: 11S-03W-18AB Tax Lot 1600
Zoning:	RS-6.5 (Residential Single-Dwelling Unit District)
Overlay Districts:	None

The City of Albany has received the partition application referenced above. We are mailing notice of the application to property owners within 300 feet of the proposed development. We invite your written comments on this application, to be considered when staff decides on this application. This application is subject to the Type I-L procedure identified in Section 1.100(2) of the Albany Development Code (ADC). Type I-L decisions are made by the Community Development Director after the notice period. Written comments must relate to the approval standards listed below. Issues which may provide the basis for an appeal to the Planning Commission must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is 5:00 p.m. on **April 5, 2024**, 14 days from the date the City mails the notice of filing.

All application materials are available for review at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please contact **Liz Olmstead, project planner**, at 541-917-7640 or liz.olmstead@albanyoregon.gov. Submit any written comments to the Planning Division; PO Box 490, Albany, OR 97321. Any person submitting written comments will receive a copy of the notice of decision.

Approval Standards for This Request

Tentative Plat Review, Section 11.180 of the Albany Development Code (Code) includes the following review criteria that must be met for this application to be approved.

1. The proposal meets the development standards of the underlying zoning district, and applicable lot and block standards of this Article.

albanyoregon.gov/cd



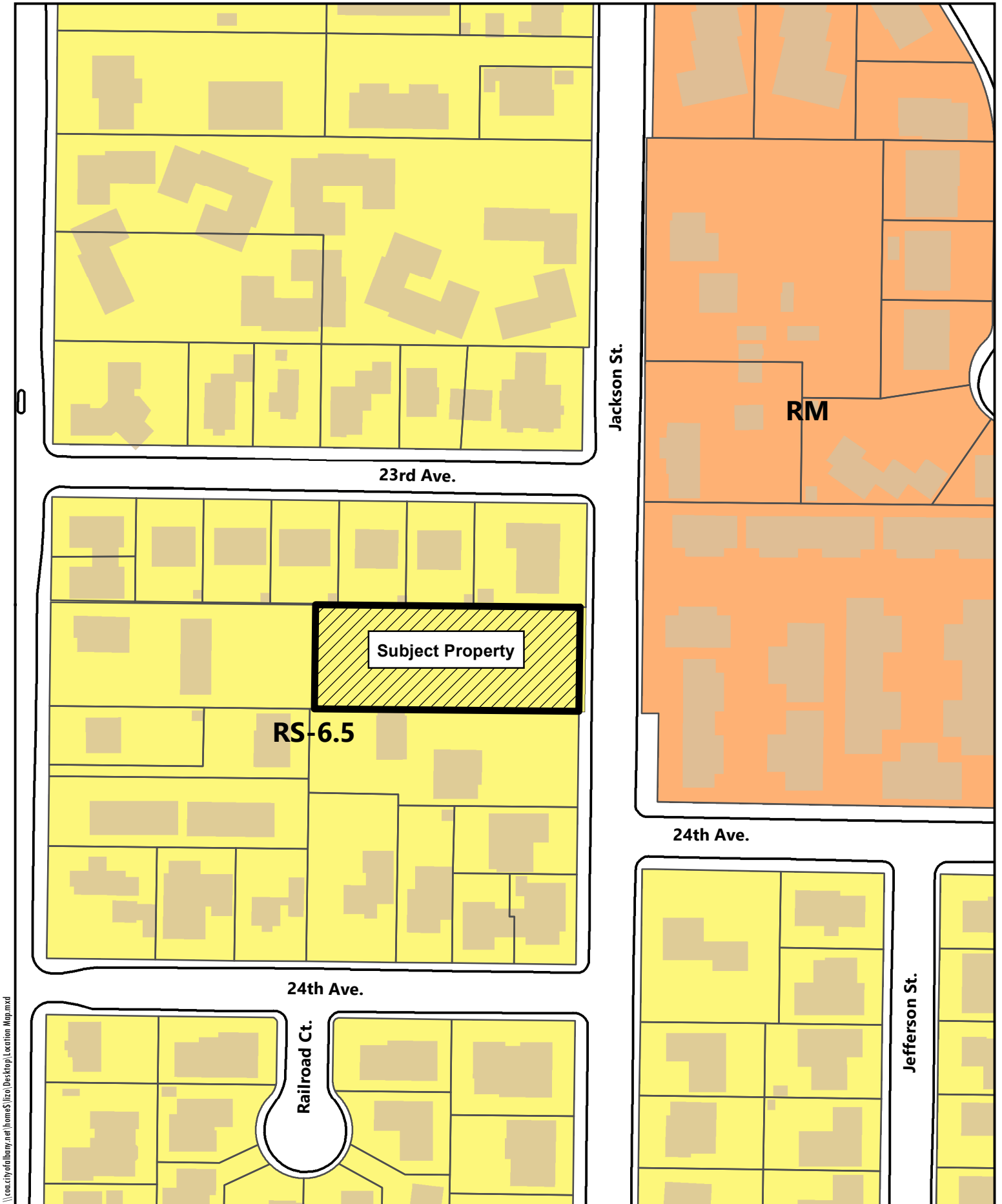
2. Development of any remainder of property under the same ownership can be accomplished in accordance with this Code.
3. Adjoining land can be developed or is provided access that will allow its development in accordance with this Code.
4. The Public Works Director has determined that transportation improvements are available to serve the proposed subdivision or partition in accordance with Article 12 or will be made available at the time of development.
5. The Public Works Director has determined that public facilities and utilities are available to serve the proposed subdivision or partition in accordance with Article 12 or will be made available at the time of development.
6. Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

Clear and Objective Criteria for Tree Felling associated with the Development of Housing (ADC 9.206)

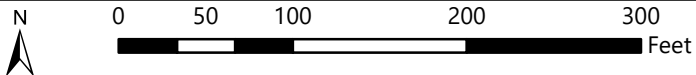
1. The critical root zone of each tree to be felled is no more than five feet from proposed roads, driveways, utilities, and required site improvements of 10 feet from proposed residential building pads.
2. The proposed felling is consistent with other applicable sections of the Development Code (such as Article 6, Significant Natural Resource Overlay Districts) and City ordinances, including tree regulations in the Albany Municipal Code.

Additional review standards for this application are found in ADC Articles 1, 2, 3, 8, 9, 11 & 12.

Attachments: Location Map, Applicant's Partition Site Plan



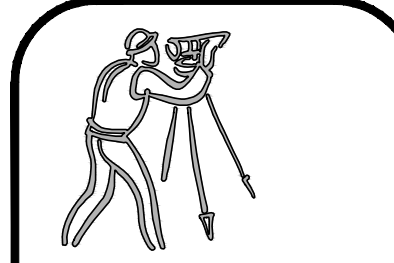
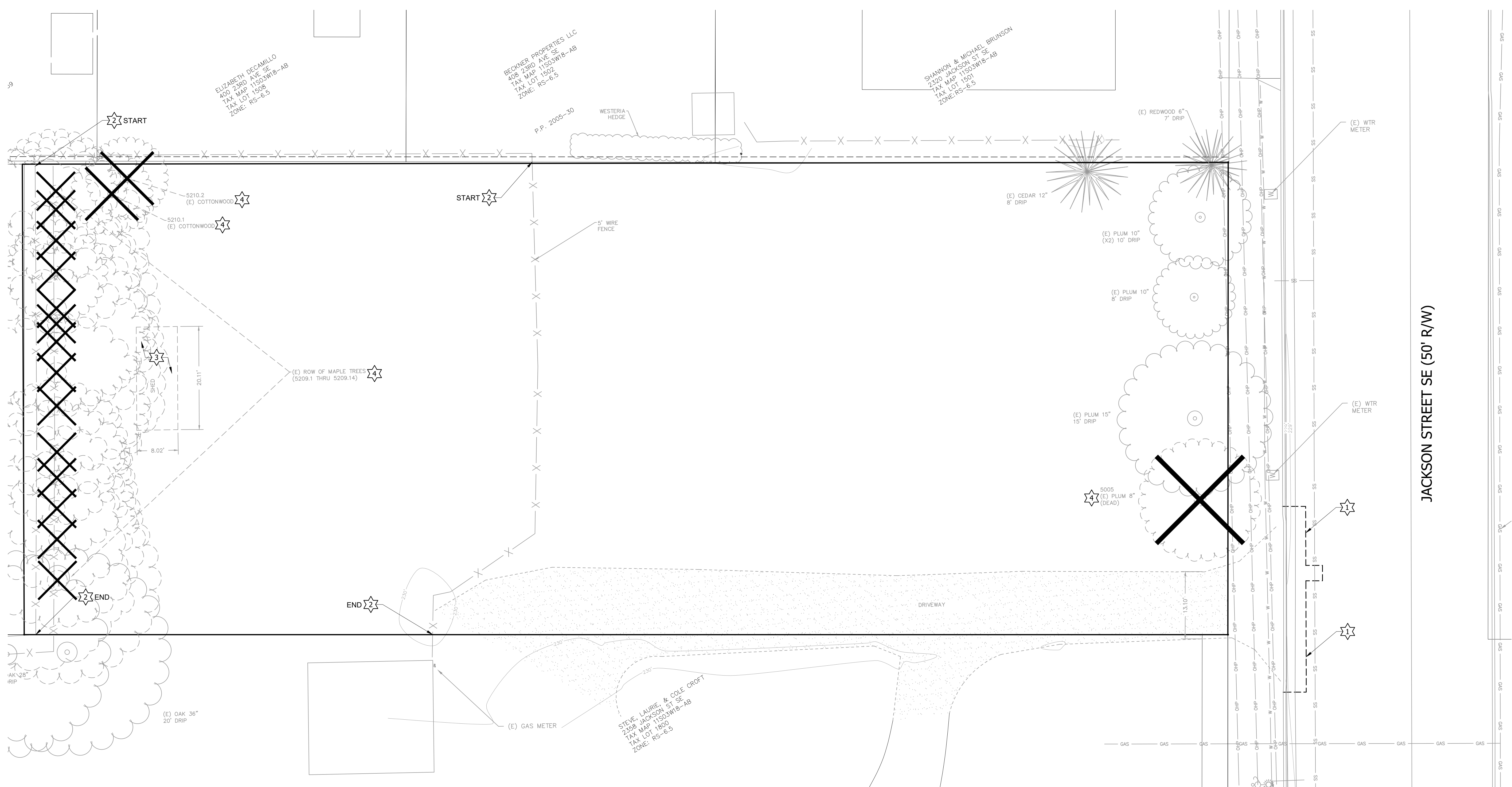
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Date: 2/27/2024 Map Source: City of Albany

2336 Jackson Street SE

Location / Zoning Map



CLIENT:
 JOEL MORENO &
 MOISES C. MORENO
 34118 OAKVILLE RD SW
 ALBANY, OR 97321
 (541) 223-3869

EXISTING CONDITIONS/DEMO PLAN
 UDELL ENGINEERING
 AND
 LAND SURVEYING, LLC
 63 EAST ASH ST.
 LEBANON, OREGON 97355
 (541) 451-5125 PH.
 (541) 451-1366 FAX

MORENO JACKSON ST PARTITION
 2336 JACKSON ST.
 ALBANY, OREGON

DATE: 02/21/24
 PROJECT: 23-128 MORENO JACKSON ST
 DRAWN BY: ATR
 CHECKED BY: BSJ

JACKSON STREET SE (50' R/W)

PROJECT VERTICAL DATUM -- NGVD 29
 ALL ELEVATIONS ARE SHOWN ON THE VERTICAL DATUM OF NGVD 29. THE VERTICAL BENCHMARK USED FOR ESTABLISHING ELEVATIONS IS CITY OF ALBANY GPS CONTROL POINT 93269 LOCATED AT THE INTERSECTION OF 28TH AVE AND JACKSON ST. CONTRACTOR IS TO NOTIFY ENGINEER/SURVEYOR TWO WORKING DAYS PRIOR TO DISTURBING EXISTING SURVEY MONUMENT(S). SURVEYOR IS TO RESTORE PER COUNTY SURVEYOR REQUIREMENTS AND ORS 209.150.

THE LOCATION AND DESCRIPTIONS OF EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE ENGINEER OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY OR THE COMPLETENESS OF SUCH RECORDS. CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010 THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER AT (503) 232-1987.

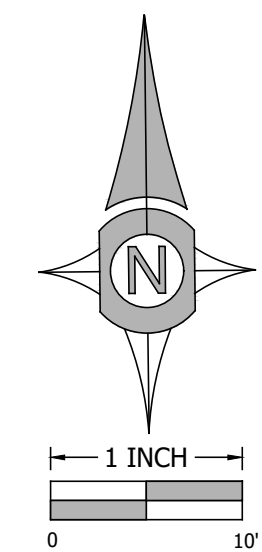
TREE REMOVAL SUMMARY					
TREE ID NUMBER	TREE SPECIES	TRUNK DIAMETER	TRUNK CIRCUMFERENCE	CANOPY	SIGNIFICANT
5210	COTTONWOOD	36"	113"	201 SF	YES
5210	COTTONWOOD	36"	113"	201 SF	YES
5209.1	MAPLE	6"+4"+5"	47"	452 SF	NO
5209.2	MAPLE	7"+4"+4"	47"	616 SF	NO
5209.3	MAPLE	3" (x4)	38"	1018 SF	NO
5209.4	MAPLE	4"+3"+3"	31"	314 SF	NO
5209.5	MAPLE	6"+8"+5"	60"	1257 SF	NO
5209.6	MAPLE	7"+6"+3"	50"	1018 SF	NO
5209.7	MAPLE	4" (x4)	50"	1134 SF	NO
5209.8	MAPLE	6"+3"+3"	38"	1257 SF	NO
5209.9	MAPLE	11"+11"+9"+8"	123"	1018 SF	YES
5209.10	MAPLE	7"+6"+6"	60"	616 SF	NO
5209.11	MAPLE	6"+3"+3"	53"	707 SF	NO
5209.12	MAPLE	6"+4"+3"+5"	57"	804 SF	NO
5209.13	MAPLE (DEAD)	3" (x3)	28"	908 SF	NO
5209.14	MAPLE	4" (x3)	38"	1257 SF	NO
5005	PLUMB (DEAD)	8"	25"	452 SF	NO

DEMOLITION NOTES

- SAWCUT AND REMOVE A 2.0 FOOT STRIP OF EXISTING PAVEMENT TO ACCOMMODATE REMOVING AND REPLACING EXISTING CURB & GUTTER.
- EXISTING FENCE TO BE REMOVED.
- EXISTING SHED TO BE REMOVED.
- EXISTING TREE TO BE REMOVED.

TREE LEGEND

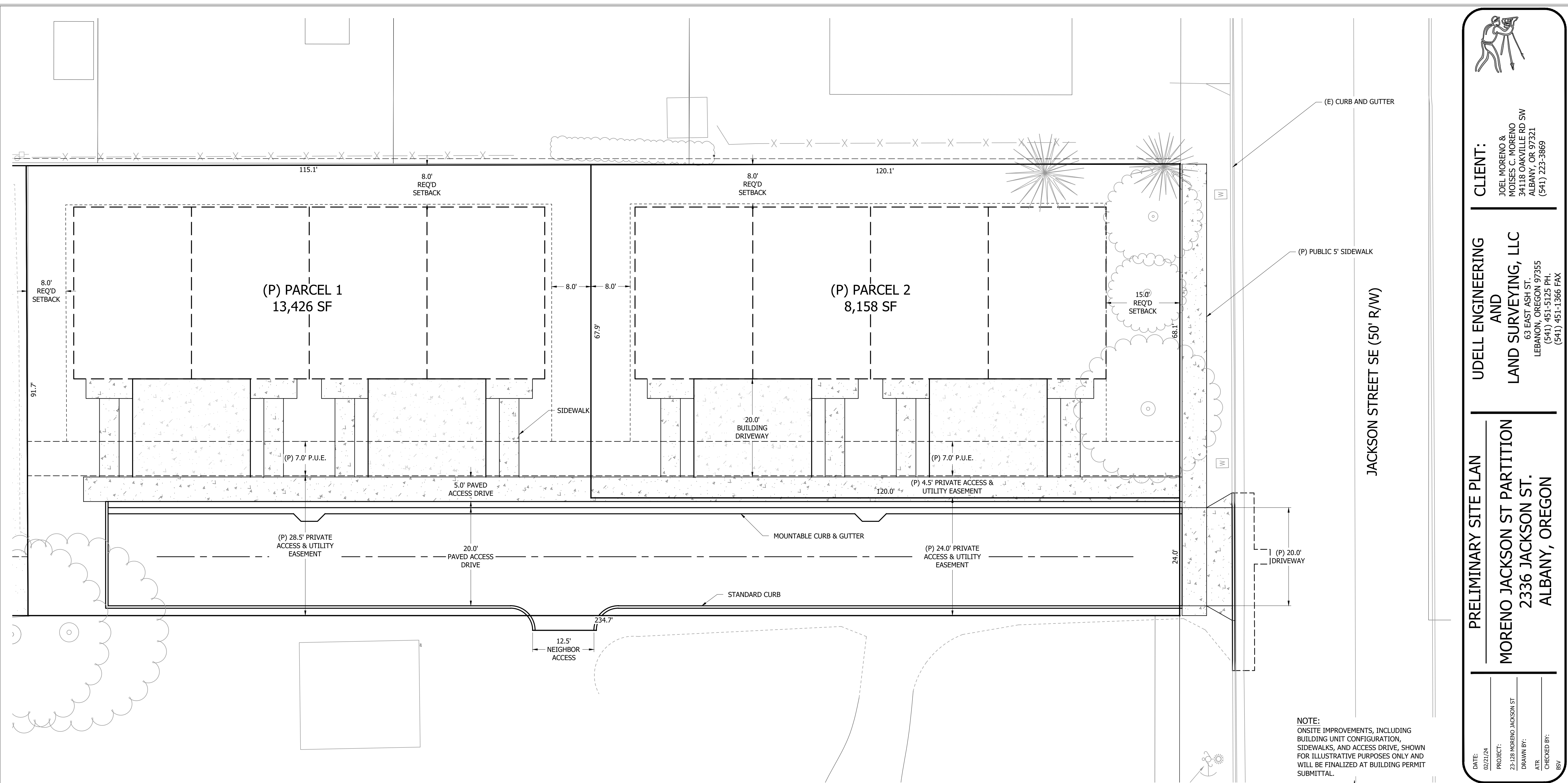
- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING EVERGREEN TREE TO REMAIN
- EXISTING TREE TO BE REMOVED



THIS MAP WAS PREPARED FOR PLANNING PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

PLAN REVISIONS	DATE

Sheet **C101**
 SCALE: SEE BARSCALE



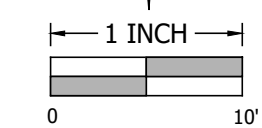
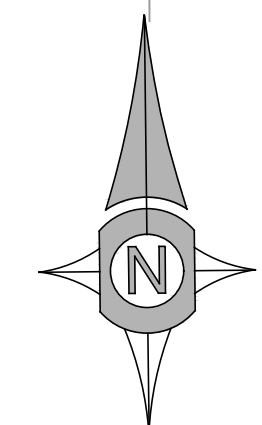
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PRELIMINARY SITE PLAN
 MORENO JACKSON ST PARTITION
 2336 JACKSON ST.
 ALBANY, OREGON

DATE: 02/21/24
 PROJECT: 23-128 MORENO JACKSON ST
 DRAWN BY: ATR
 CHECKED BY: BSJ

NOTE:
 ONSITE IMPROVEMENTS, INCLUDING
 BUILDING UNIT CONFIGURATION,
 SIDEWALKS, AND ACCESS DRIVE, SHOWN
 FOR ILLUSTRATIVE PURPOSES ONLY AND
 WILL BE FINALIZED AT BUILDING PERMIT
 SUBMITTAL.



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 PLANNING PURPOSES ONLY.
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PROPERTY INFORMATION
 ZONE: RESIDENTIAL (RS-6.5)
 LAND USE: UNIMPROVED
 OWNER: MOISES & ELAINE MORENO
 ADDRESS: 2336 JACKSON STREET SE
 ASSESSORS MAPS: 11S-03W-18AB
 TAX LOT: 1600
 AREA: 0.50 AC

PLAN REVISIONS	DATE

Sheet **C103**
 SCALE: SEE BARSCALE