



COMMUNITY DEVELOPMENT

333 Broadalbin Street SW, PO Box 490, Albany, Oregon 97321-0144 | Community Development 541-917-7550

Notice of Filing

Tentative Subdivision Plat

PA-02-24 & FP-02-24

July 18, 2024

The City of Albany Planning Division has received the following APPLICATION. The deadline for submission of written comments is 5:00 p.m. on **August 1, 2024**.

Application Information

Proposal:	Tentative Subdivision Plat to divide a 6.65-acre parcel into four lots.
Property Owner/Applicant:	Daniel Watson; 710 East Thornton Lake Drive NW, Albany, OR 97321
Address/Location:	710 East Thornton Lake Drive NW
Map/Tax Lot:	Benton County Assessor: 10S-03W-31CC-015000
Zoning:	RS-6.5 (Residential Single-Dwelling Unit)
Overlay Districts:	Floodway/Floodplain Overlay (/FP); Significant Wetlands Overlay (/SW); Riparian Corridor Overlay (/RC); Habitat Assessment Overlay (/HA); Hillside Development Overlay District (/HD)

The City of Albany has received the partition application referenced above. We are mailing notice of the application to property owners within 300 feet of the proposed development. We invite your written comments on this application, to be considered when staff decides on this application. This application is subject to the Type I-L procedure identified in Section 1.100(2) of the Albany Development Code (ADC). Type I-L decisions are made by the Community Development Director after the notice period. Written comments must relate to the approval standards listed below. Issues which may provide the basis for an appeal to the Planning Commission must be raised in writing and with sufficient detail to allow the City to respond to the issue. The deadline for submission of written comments is 5:00 p.m. on **August 1, 2024**, 14 days from the date the City mails the Notice of Filing.

All application materials are available for review at the Planning Division, and copies can be obtained for a minimal charge. Should you wish to discuss this case with a planner, please contact **Jennifer Cepello, project planner**, at 541-917-7561 or jennifer.cepello@albanyoregon.gov. Submit any written comments to the Planning Division; PO Box 490, Albany, OR 97321. Any person submitting written comments will receive a copy of the notice of decision.

The proposed subdivision and floodplain review must comply with review criteria contained in the Albany Development Code (ADC or Code) Article 6 and 11 outlined below. The City may attach conditions of approval to the application to ensure that the proposal will conform to the applicable review criteria.

Approval Standards for This Request

Tentative Plat Review Criteria (ADC 11.180)

- (1) The proposal meets the development standards of the underlying zoning district, and applicable lot and block standards of this Article.
- (2) Development of any remainder of property under the same ownership can be accomplished in accordance with this Code.
- (3) Adjoining land can be developed or is provided access that will allow its development in accordance with this Code.
- (4) The Public Works Director has determined that transportation improvements are available to serve the proposed subdivision or partition in accordance with Article 12 or will be made available at the time of development.
- (5) The Public Works Director has determined that public facilities and utilities are available to serve the proposed subdivision or partition in accordance with Article 12 or will be made available at the time of development.
- (6) Activities and developments within special purpose districts must comply with the regulations described in Articles 4 (Airport Approach), 6 (Natural Resources), and 7 (Historic), as applicable.

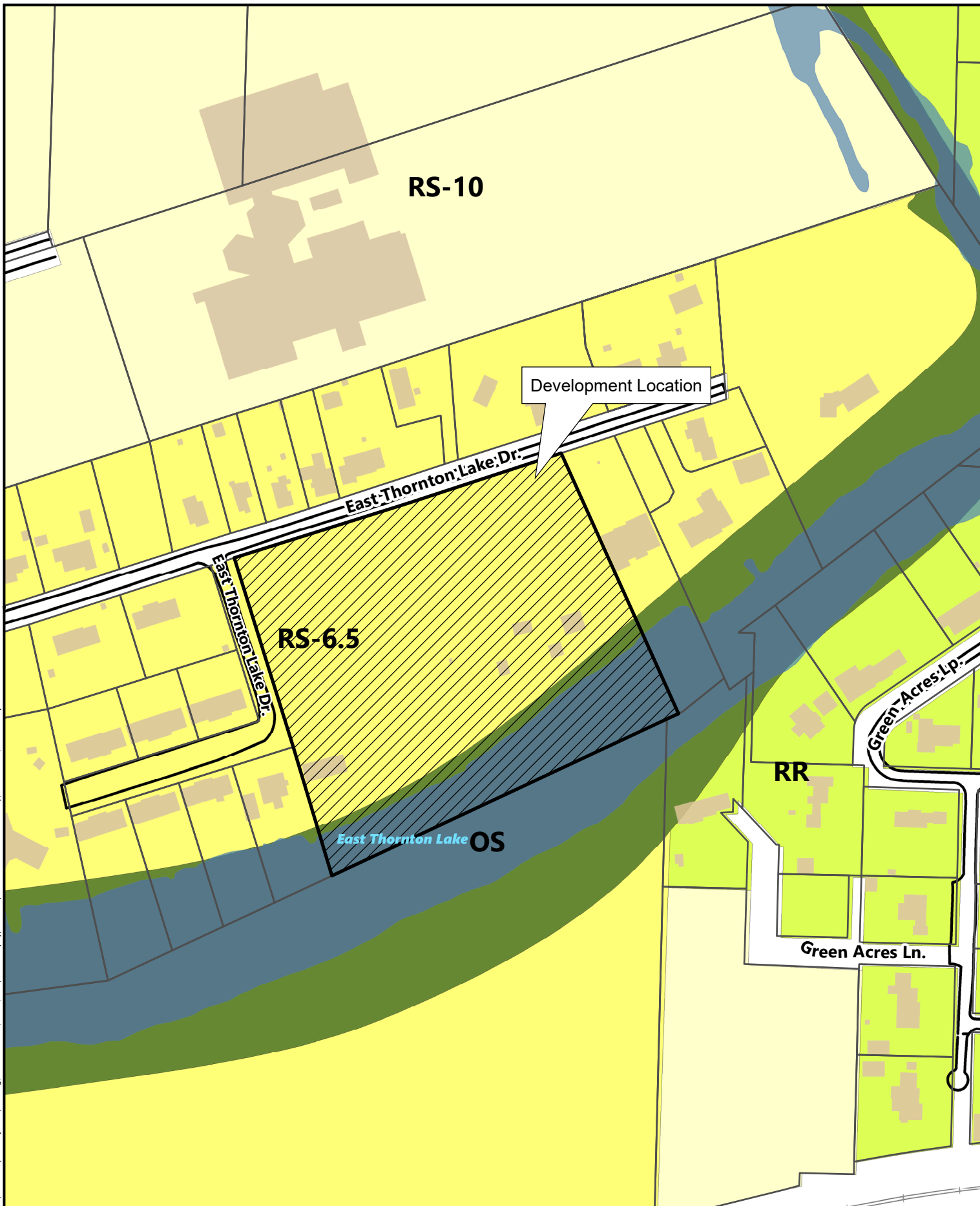
Site Improvement, Land Division and Manufactured Home Park Standards. (ADC 6.110)

- (1) All proposed development and land divisions shall be consistent with the need to minimize flood damage and ensure that building sites will be reasonably safe from flooding.
- (2) All new development and land division proposals shall have utilities and facilities such as sewer, gas, electrical, and water systems located and constructed to minimize flood damage.
- (3) On-site waste disposal systems shall be located and constructed to avoid functional impairment, or contamination from them, during flooding.
- (4) All development proposals shall have adequate drainage provided to reduce exposure to flood damage.
- (5) Any lot created for development purposes must have adequate area created outside of the floodway to maintain a buildable site area meeting the minimum requirements of this Article.
- (6) Any new public or private street providing access to a residential development shall have a roadway crown elevation not lower than one foot below the 100-year flood elevation.
- (7) All development proposals shall show the location of the 100-year flood contour line followed by the date the flood elevation was established. When elevation data is not available, either through the Flood Insurance Study or from another authoritative source, and the development is four or more acres or results in four or more lots of structures, the elevation shall be determined and certified by a registered engineer. In addition, a statement located on or attached to the recorded map or plat shall read as follows: "Development of property within the Special Flood Hazard Area as most currently established by the Federal Emergency Management Agency or City of Albany may be restricted and subject to special regulations by the City."
- (8) In addition to the general review criteria applicable to manufactured home parks in Article 10, application that propose actual development within a Special Flood Hazard Area shall include an evacuation plan indicating alternate vehicular access and escape routes.

Additional review standards for this application are found in ADC Articles 1, 2, 3, 6, 8, 9, 11 & 12.

Attachments: Location Map, Applicant's Partition Site Plan

G:\Community Development\Planning\Land Use Cases\2024\Permit\PA-02-24 (710 East Thornton Lake Drive)\Public Notice\Location Map.mxd



0 50 100 200
Feet

710 East Thornton Lake Drive NW

Date: 2/28/2024 Map Source: City of Albany

Location Map

TENTATIVE SUBDIVISION PLAT
FOR
DAN WATSON
LOCATED IN
JOHN QUINN THORNTON D.L.C. No. 37
SW 1/4 SEC. 31, T. 10 S., R. 3 W., W.M.
IN THE
CITY OF ALBANY, BENTON COUNTY, OREGON
FEBRUARY 21, 2024

OWNER/APPLICANT: DAN + ANDREA WATSON
710 E. THORNTON LAKE DR. NW
ALBANY, OR 97321

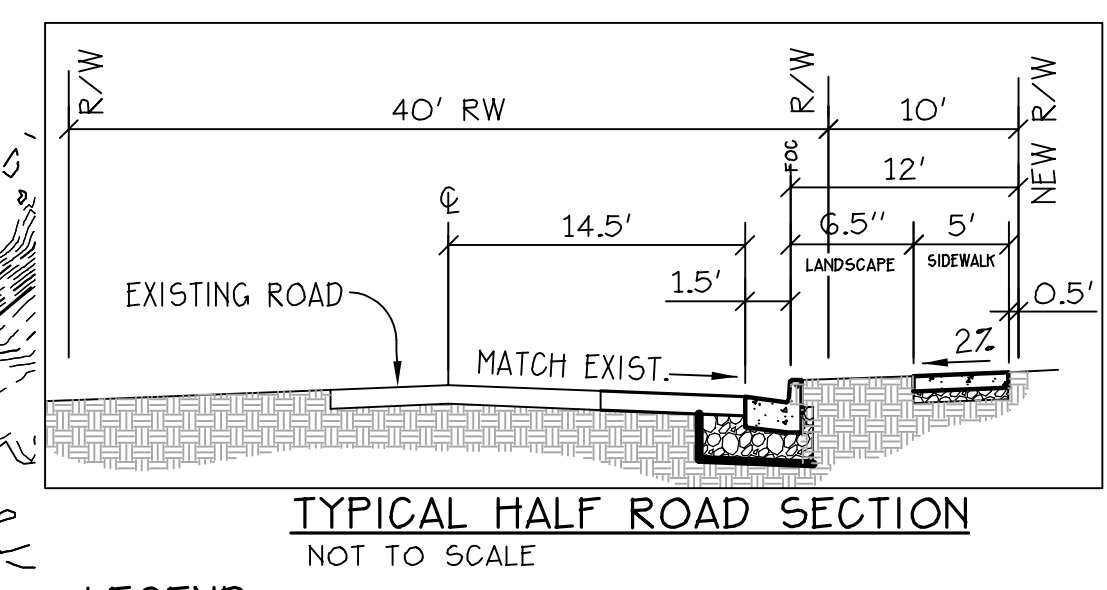
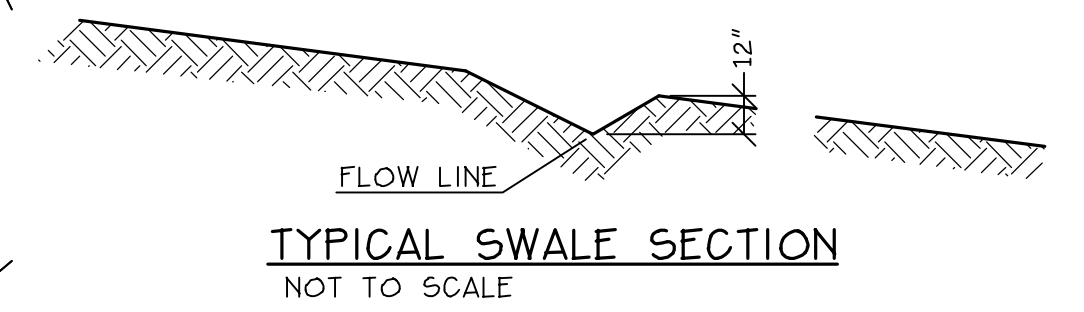
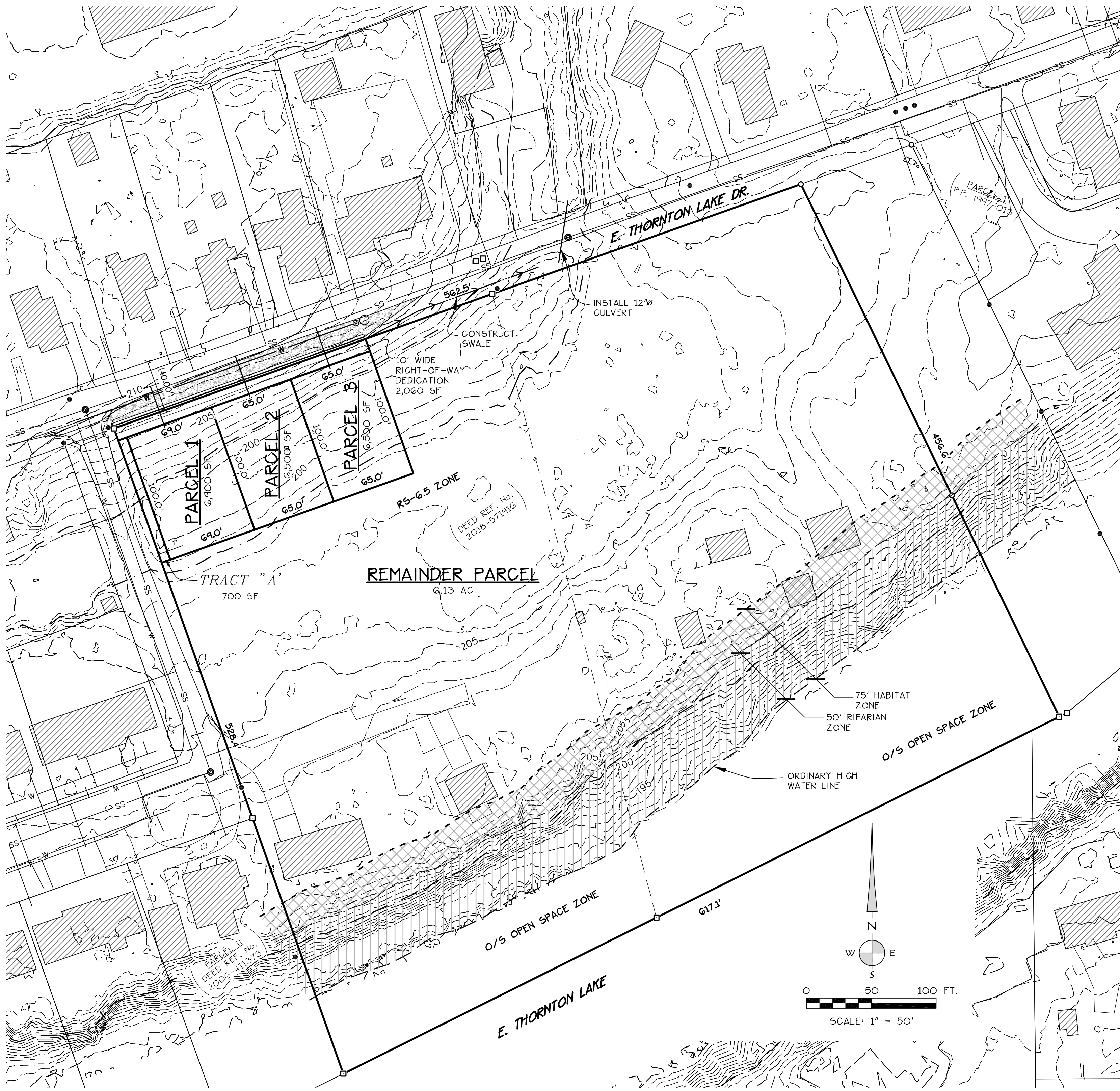
ENGINEER/SURVEYOR: DANIEL K. WATSON, ENGINEER
K+D ENGINEERING, INC.
276 N.W. HICKORY STREET
ALBANY, OR 97321
(541) 928-2583

SUBJECT PROPERTY:
TAX LOT 1500 (MAP 105-03W-31CC)
710 E. THORNTON LAKE DR. NW
ALBANY, OR 97321
TOTAL LOT AREA = 6.65 ACRES

PARCEL 1 = 6,900 SF, PARCEL 2 = 6,500 SF
PARCEL 3 = 6,500 SF, AVERAGE AREA = 6,633 SF
REMAINDER AREA = 6.13 ACRES

ZONING:
R5-G.5 ZONE
O/S OPEN SPACE ZONE

NOTE:
DATA SHOWN ON THIS MAP IS BASED ON BENTON COUNTY AND CITY OF ALBANY GIS DATABASES, ASSESSOR RECORDS, RECORD DEED INFORMATION AND RECORD SURVEY INFORMATION.
FEMA FIRM PANEL 41043C0213H DATE: 12/8/2016. BASE FLOOD ELEVATION = 201.5 (NAVD 88)
CONTOURS BASED ON CITY OF ALBANY LIDAR DATA (NAVD 88)



- LEGEND:**
- EXISTING RESIDENCE, GARAGE, SHOP, STRUCTURE
 - EXIST. LAMP POST
 - EXIST. FIRE HYDRANT
 - EXIST. UTILITY POLE
 - FIR TREE / DECIDUOUS TREE
 - EXIST. WATER LINE
 - EXIST. SEPTIC SYSTEM
 - FLOODPLAIN LINE, BFE = 201.5
 - PROPOSED STORM DRAIN